

LEGAL DESCRIPTION
 LOT 10 BLOCK 10 MERCERDALE #2 TO THE PLAT THEREOF FILED IN VOLUME 60 OF PLATS AT PAGE 28, RECORDS OF KING COUNTY, WASHINGTON

SITE INFO
 OWNER: - NIKKI BAIDWAN
 GENERAL CONTRACTOR: - MAWER BROTHERS
 STRUCTURAL ENGINEER: - MDT ENGINEERING
 ZONE: - R3.6
 LOT SIZE: - 9,618# (0.22 ACRES)
 PARCEL NO: - 545900010
 SETBACKS: - FRONT-20', REAR-25',
 SIDE-5' MIN. TOTAL OF 15'
 (SITE IS LEGAL NON-CONFORMING)
 HEIGHT LIMIT: - 30' ABOVE A.B.E.
 F.A.R. (LESSER OF): - 40% (3,847#)
 LOT COVERAGE: - 35% (BUILDING & VEHICLE DRIVING SURFACE)
 REQUIRED LANDSCAPE: - 65%
 LOT SLOPE: - 15%-30%
 HARDSCAPE: - 9% (865#)

GENERAL NOTES
 ALL UTILITIES (WATER, PHONE, CABLE, POWER, SEWER & GAS LINES) ARE EXISTING UNO.
 USE EXISTING DRIVEWAY AS CONSTRUCTION ENTRANCE.
 NO SIGNIFICANT TREES ON SITE ARE BEING REMOVED OR IMPACTED.
 PROVIDE STRAW OR PLASTIC COVER TO ANY EXPOSED SOILS THROUGH OUT THE CONSTRUCTION CYCLE.
 24 HOUR EROSION CONTROL CONTACT INFO:
 MASON MAWER - 425.417.1819

PER: 190716(F.X.2) IF EXCAVATION/FOUNDATION OR OTHER SIMILAR WORK WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 1 A WET SEASON DEVELOPMENT WAIVER IS TO BE APPLIED AND REVIEWED FOR WORK DURING THE WET SEASON. SEE THIS WEBSITE FOR REQUIREMENTS, SUBMISSION, AND PROCESS: <https://www.mercerisland.gov/cfd/page/wet-season-work-waiver-seasonal-development-limitation>

EFFECTIVE FEBRUARY 1, 2021 WASHINGTON STATUTES MANDATE ALL JURISDICTIONS IN THE STATE TO ADOPT AND ENFORCE THE FOLLOWING UPDATED CONSTRUCTION CODE EDITIONS AS THEY WERE ADOPTED AND AMENDED BY THE STATE OF WASHINGTON:
 2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
 2018 UNIFORM PLUMBING CODE (UPC)
 2018 INTERNATIONAL FIRE CODE (IFC)
 2018 INTERNATIONAL EXISTING BUILDING CODE
 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
 WASHINGTON STATE ENERGY CODE (WSEC)
 ICC/ANSI A117.1-09, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS

LOT SLOPE:
 HIGHEST ELEVATION POINT OF LOT (NE CORNER): -205.6'
 LOWEST ELEVATION POINT OF LOT (NW CORNER): -183.5'
 ELEVATION DIFFERENCE (205.6-183.5): -22.1'
 HORIZ. DIFFERENCE BETWEEN HIGH & LOW POINTS: -118.84'
 LOT SLOPE (22.1/118.84): -18.6%

LOT IS LEGAL NON-CONFORMING:
 CURRENT ZONING FOR SIDE YARD SETBACKS IS 5'-0" MINIMUM W/ 15'-0" TOTAL.
 EXISTING RESIDENCE IS 5'-0" FROM SOUTH SIDE PROPERTY LINE BUT ONLY 3'-3" FROM NORTH SIDE PROPERTY LINE.

LOT COVERAGE CALCULATIONS
EXIST. LOT COVERAGE SURFACE:
 MAIN STRUCTURE W/ OVERHANGS - 2,116#
 DRIVING SURFACE - 422#
 TOTAL EXIST. LOT COVERAGE - 2,538#
NEW LOT COVERAGE SURFACE:
 MAIN STRUCTURE W/ OVERHANGS - 825#
 TOTAL LOT COVERAGE - 3,363#
 LOT AREA - 9,618
 PROPOSED LOT COVERAGE - 3,363/9,618 = 35%
 MAXIMUM LOT COVERAGE - 3,366# (35%)
 REMAINING LOT COVERAGE - 3#

HARDSCAPE CALCULATIONS
HARDSCAPE SURFACE:
 EXISTING CONCRETE WALKWAY - 96#
 EXISTING ROCK STEPS - 24#
 EXISTING CONCRETE STEPS - 2#
 EXISTING BRICK WALKWAYS - 45#
 EXISTING ROCKERIES - 49#
 NEW UNCOVERED PORCH - 58#
 NEW UNCOVERED DECK - 113#
 NEW CONCRETE PATIOS & PADS - 150#
 NEW SCREEN FENCE - 6#
 TOTAL HARDSCAPE - 551#
 LOT AREA - 9,618#
 PROPOSED HARDSCAPE - 551/9,618 = 5.7%
 MAXIMUM HARDSCAPE - 9% (865#)

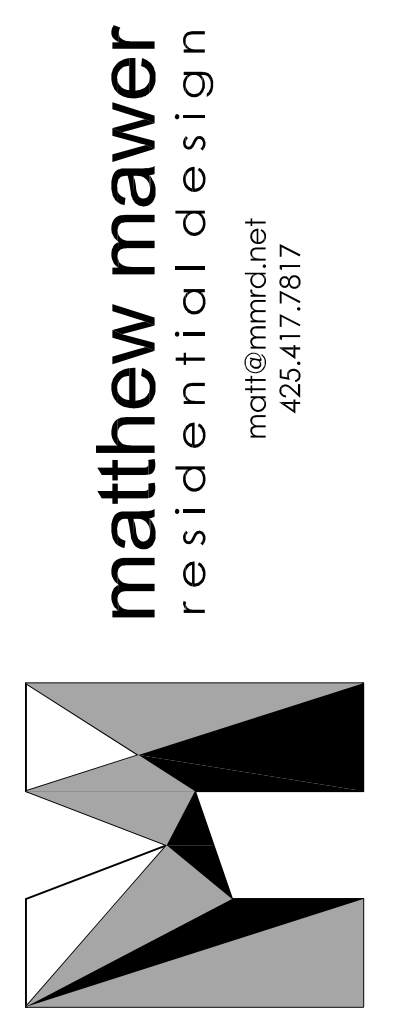
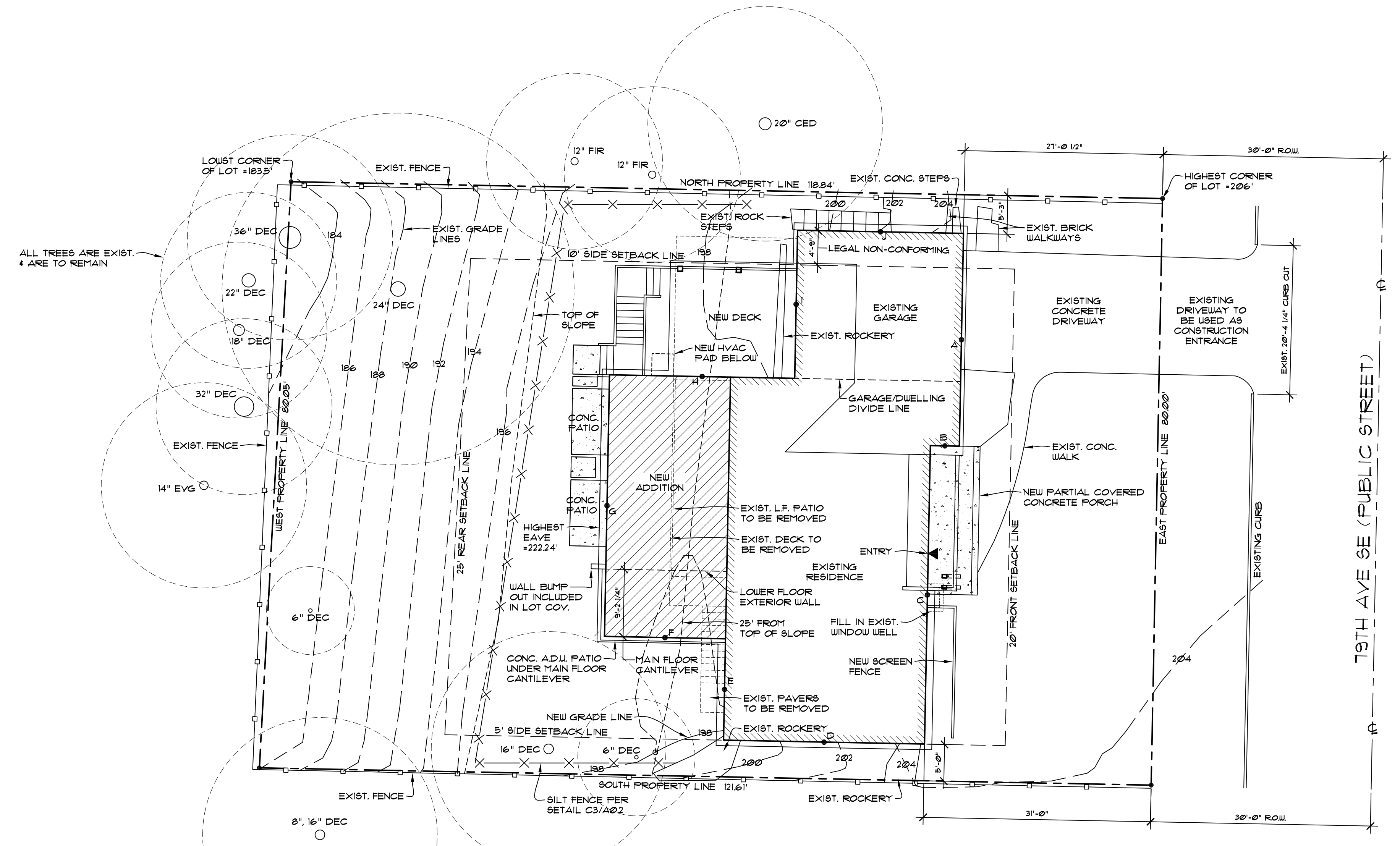
GROSS FLOOR AREA CALCULATIONS
 SITE AREA - 9,618#
 ALLOWABLE F.A.R. (LESSER OF) 40% = 3,847#
 MAX. 3,847#
 MAIN FLOOR - 1,628#
 MAIN FLOOR 150% MODIFIER (330#x150%) - 495#
 GARAGE & MAIN FLOOR - 451#
 LOWER FLOOR - 171#
 LOWER FLOOR ADJ. UNIT - 571#
 TOTAL FLOOR AREA - 4,378#
 BASEMENT EXCLUSION - (689#)
 PROPOSED G.F.A. - 3,689#
 RESULT: WITHIN CODE PARAMETERS

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 A04 - ROOF REPLACEMENT AREA SUMMARY
 A05 - GROSS FLOOR AREA CALCULATIONS
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 A2 - EXISTING LOWER FLOOR DEMO PLAN
 A3 - PROPOSED LOWER FLOOR PLAN
 A4 - EXISTING MAIN FLOOR FRAMING PLAN
 A5 - PROPOSED MAIN FLOOR FRAMING PLAN
 A6 - EXISTING MAIN FLOOR DEMO PLAN
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 A11 - EXISTING & PROPOSED LEFT ELEVATIONS
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 SD2 - STRUCTURAL DETAILS
 SD3 - STRUCTURAL LOWER FLOOR SHEAR WALLS
 SD4 - STRUCTURAL MAIN FLOOR SHEAR WALLS

AVERAGE EXISTING GRADE CALCULATIONS

WALL SEGMENT	WALL LENGTH	MIDPOINT ELEVATION	RESULT
A	29.0'	205.1	5,941.9
B	4.0'	205.1	820.4
C	40.71'	201.8	8,215.28
D	27.42'	201.1	5,514.16
E	19.83'	198.0	2,738.35
F	16.5'	198.0	3,261.0
G	35.69'	197.0	7,030.93
H	25.25'	197.5	4,983.88
I	20.21'	198.8	4,017.15
J	22.63'	203.0	4,593.89
TOTALS	235.24'	N/A	47,229.54

47229.54 / 235.24 = 200.8
 AVERAGE EXISTING GRADE = 200.8'
 MAXIMUM BUILDING HEIGHT = 30' ABOVE A.E.G.
 200.8' + 30' = 230.8'
 MAXIMUM BUILDING HEIGHT = 230.8'
 ACTUAL BUILDING HEIGHT = 222.4'



nw lifestyle homes
 www.nwlifestylehomes.com

BAIDWAN ADDITION / REMODEL
 3777 79TH AVE SE
 MERCER ISLAND, WA 98040

JOB NO: 23-016
 DATE: 4/9/24
 DRW. BY: MM, MG
 REVISED:

SHEET NO.
A0.1

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SITE PLAN
 SCALE: 1" = 10'
 3777 79TH AVE SE
 MERCER ISLAND, WA 98040

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 10, BLOCK 10, MERCERDALE NO. 2, ACCORDING TO THE PLAT THEREOF FILED IN VOLUME 60 OF PLATS, PAGE 28, RECORDS OF KING COUNTY, WASHINGTON.
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

ACCEPTED A BEARING OF N 01°11'47" E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 79TH AVE SE, CALCULATED USING NAD 83(2011) WASHINGTON STATE PLANE COORDINATES PER GPS OBSERVATIONS.

REFERENCES

R1 MERCERDALE NO. 2, VOL. 60 OF PLATS, PG. 28, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 PER GPS OBSERVATIONS
SITE TEMP. BENCHMARK
DESCRIPTION: NAIL & RED WASHER
LOCATION: ACROSS FROM 3777 79TH AVE SE, AS SHOWN
ELEVATION: 205.17'

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2024. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 545900-0110
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 9,618 ±S.F. (0.22 ACRES)
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 0266714-ETU, WITH AN EFFECTIVE DATE OF DECEMBER 19, 2023 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

SCHEDULE B ITEMS

1. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: MERCER ISLAND SEWER DISTRICT, A MUNICIPAL CORPORATION OF THE STATE OF WASHINGTON
PURPOSE: SEWER PIPE LINE OR LINES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS
RECORDING DATE: OCTOBER 7, 1958
RECORDING NO.: 4951583
AFFECTS: WESTERLY 10 FEET OF SAID PREMISES AND OTHER PROPERTY (PLOTTED)
2. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON AGE, RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING DATE: APRIL 13, 1960
RECORDING NO.: 5150754
(PLOTTED: UTILITY ESMT & BUILDING SETBACKS)
3. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF MERCERDALE NO. 2:

RECORDING NO.: 4905482
(CURRENT CONDITIONS SHOWN)

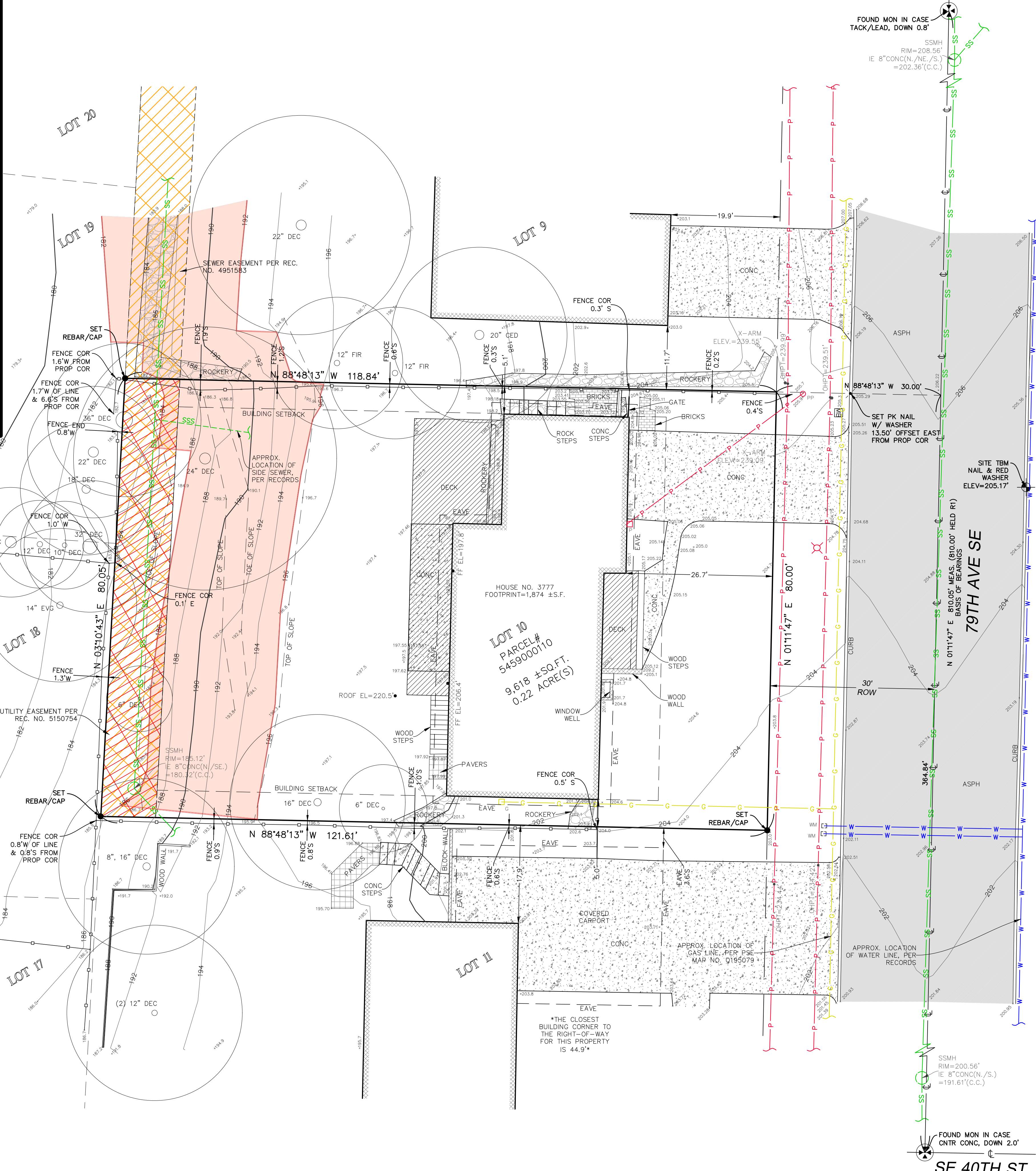
LEGEND

	ASPHALT SURFACE		POWER (OVERHEAD)
	BENCHMARK		POWER POLE
	BRICK SURFACE		REBAR & CAP (SET)
	BUILDING		RETAINING WALL
	STEEP SLOPE AREA		ROCKERY
	CONCRETE SURFACE		SEWER LINE
	DECK		SEWER MANHOLE
	FENCE LINE (WOOD)		TREE (AS NOTED)
	GAS LINE		WATER LINE
	GAS METER		WATER METER
	MAILBOX (RESIDENTIAL)		YARD LIGHT
	MONUMENT (IN CASE, FOUND)		SEWER EASEMENT PER REC. NO. 4951583
	NAIL AS NOTED		UTILITY EASEMENT PER REC. NO. 5150754
	OHP TRANSMISSION ELEVATION		
	PAVER SURFACE		
	POWER METER		

INDEXING INFORMATION

SW 1/4	SE 1/4
SECTION: 12	
TOWNSHIP: 24N	
RANGE: 04E, W.M.	
COUNTY: KING	

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 5459000110
BAAIDWAN RESIDENCE
3777 79TH AVE SE
MERCER ISLAND, WA 98040



TERRANE

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Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	232363
DATE:	02/01/24
DRAFTED BY:	IDV / RPM
CHECKED BY:	JPS
SCALE:	1" = 10'
REVISION HISTORY	
SHEET NUMBER	
1 OF 1	

TEMPORARY EROSION/SEDIMENTATION CONTROL - PLAN NOTES

1. THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
 - A. CONDUCT PRE-CONSTRUCTION MEETING.
 - B. FLAG OR FENCE CLEARING LIMITS.
 - C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
 - D. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
 - E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 - F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 - G. CONSTRUCT SEDIMENT PONDS AND TRAPS.
 - H. GRADE AND STABILIZE CONSTRUCTION ROADS.
 - I. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 - J. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 - K. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY/COUNTY TESC MINIMUM REQUIREMENTS.
 - L. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
 - M. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
 - N. SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - O. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

2. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS CLEAN AND FREE OF CONTAMINANTS AT ALL TIMES AND FOR PREVENTING AN ILLICIT DISCHARGE (KMC 1552) INTO THE MUNICIPAL STORM DRAIN SYSTEM. IF YOUR CONSTRUCTION PROJECT CAUSES AN ILLICIT DISCHARGE TO THE MUNICIPAL STORM DRAIN SYSTEM, THE CITY/COUNTY STORM MAINTENANCE DIVISION WILL BE CALLED TO CLEAN THE PUBLIC STORM SYSTEM, AND OTHER AFFECTED PUBLIC INFRASTRUCTURE. THE CONTRACTOR(S), PROPERTY OWNER, AND ANY OTHER RESPONSIBLE PARTY MAY BE CHARGED ALL COSTS ASSOCIATED WITH THE CLEAN-UP AND MAY ALSO BE ASSESSED MONETARY PENALTIES. THE MINIMUM PENALTY IS \$500. A FINE FOR A REPEAT VIOLATION SHALL BE A MULTIPLY BY THE NUMBER OF VIOLATIONS. A FINE MAY BE REDUCED OR WAIVED FOR PERSONS WHO IMMEDIATELY SELF-REPORT VIOLATION TO THE CITY/COUNTY. A FINAL INSPECTION OF YOUR PROJECT WILL NOT BE GRANTED UNTIL ALL COSTS ASSOCIATED WITH THE CLEAN-UP, AND PENALTIES, ARE PAID TO THE CITY/COUNTY.

3. CONSTRUCTION DEWATERING DISCHARGES SHALL ALWAYS MEET WATER QUALITY GUIDELINES LISTED IN COK POLICY E-1. SPECIFICALLY, DISCHARGES TO THE PUBLIC STORMWATER DRAINAGE SYSTEM MUST BE BELOW 25 NTU, AND NOT CONSIDERED AN ILLICIT DISCHARGE. TEMPORARY DISCHARGES TO SANITARY SEWER REQUIRE PRIOR AUTHORIZATION AND PERMIT NOTIFICATION TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR.

4. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND SPECIFICATIONS.

5. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CODE FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

6. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

7. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.

8. A COPY OF THE APPROVED ESC PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

9. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.

10. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY/COUNTY INSPECTOR.

11. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.

12. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.

13. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.

14. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

15. ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIME LINES:
 • MAY 1 TO SEPTEMBER 30 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
 • OCTOBER 1 TO APRIL 30 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
 • STABILIZE SOILS AT THE END OF THE WORKDAY PRIOR TO A WEEKEND, HOLIDAY, OR PREDICTED RAIN EVENT.

16. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RTE APPLIED AT APPROXIMATELY 20 POUNDS PER ACRE).

17. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".

18. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 6' HIGH TEMPORARY CONSTRUCTION FENCE (CHAIN LINK WITH PIER BLOCKS) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL THE PLANNING DEPARTMENT AUTHORIZES REMOVAL.

19. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT TO THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.

20. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.

21. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4'-8" ROCK/40%-10% PASSING; 2'-4" ROCK/30%-40% PASSING; AND 1'-2" ROCK/10%-20% PASSING. RECYCLED CONCRETE SHALL NOT BE USED FOR EROSION PROTECTION, INCLUDING CONSTRUCTION ENTRANCE OR TEMPORARY STABILIZATION ELSEWHERE ON THE SITE.

22. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.

23. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.

24. AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED IMMEDIATELY FOLLOWING REMOVAL OF EROSION CONTROL BMP'S. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTEAM SYSTEM.

25. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.

26. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.

27. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF KIRKLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.

28. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

29. ANY AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT (INCLUDING A 3-FOOT BUFFER) MUST BE SURROUNDED BY SILT FENCE PRIOR TO CONSTRUCTION AND UNTIL FINAL STABILIZATION OF THE SITE TO PREVENT SOIL COMPACTION AND SILTATION BY CONSTRUCTION ACTIVITIES.

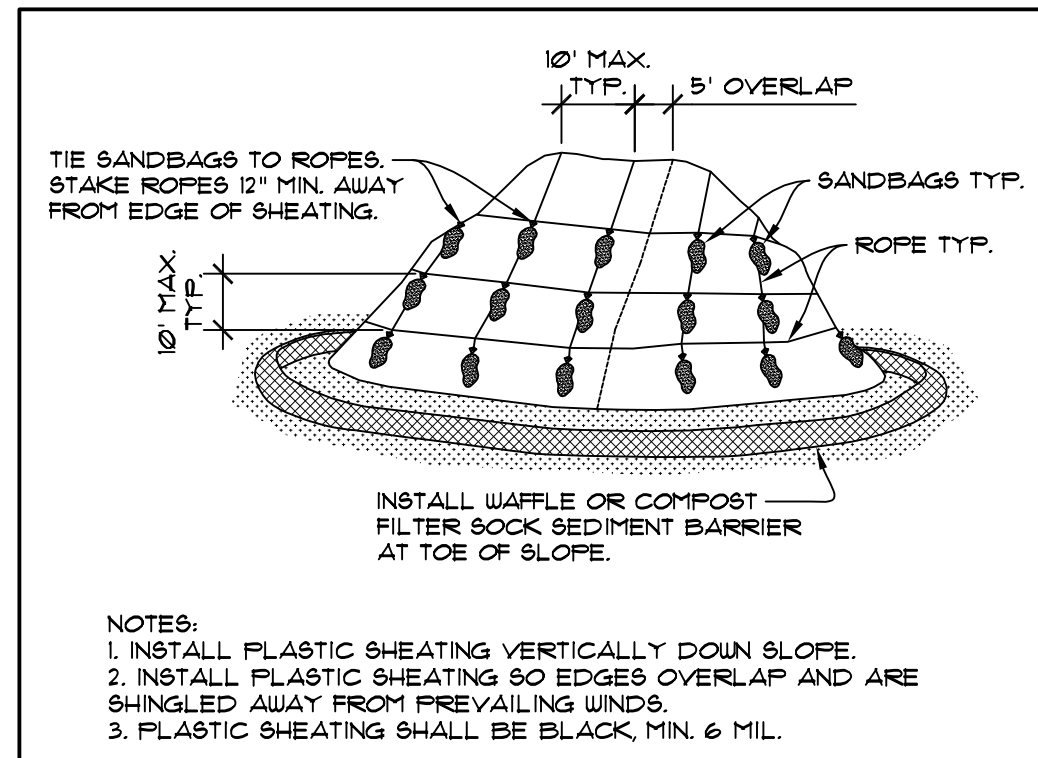
30. IF THE TEMPORARY CONSTRUCTION ENTRANCE OR ANY OTHER AREA WITH HEAVY VEHICLE LOADING IS LOCATED IN THE SAME AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT, 6' OF SEDIMENT BELOW THE GRAVEL SHALL BE REMOVED PRIOR TO INSTALLATION OF THE INFILTRATION FACILITY OR PERVIOUS PAVEMENT (TO REMOVE FINES ACCUMULATED DURING CONSTRUCTION).

31. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE ADEQUATE PROTECTION FROM SEDIMENT. CATCH BASINS DIRECTLY DOWNSTEAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A STORM DRAIN PROTECTION INSERT OR EQUIVALENT.

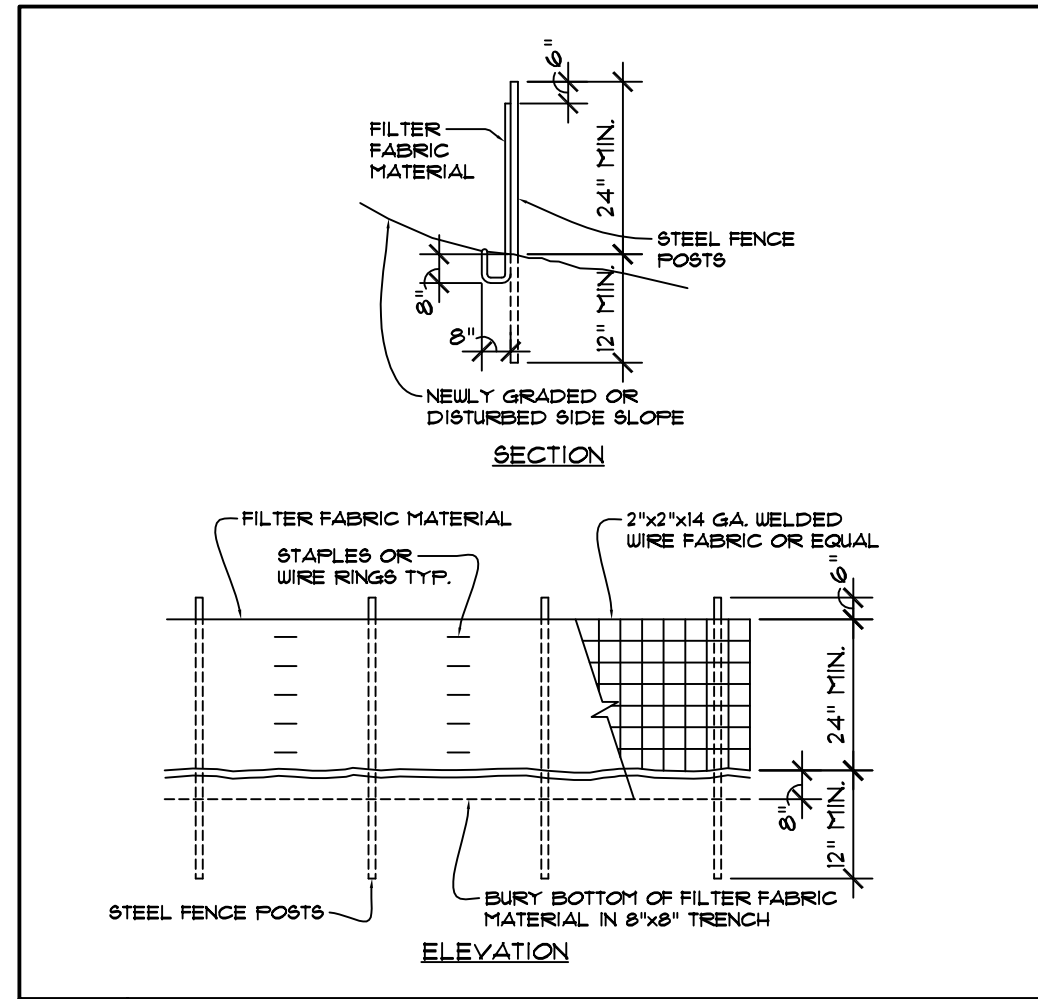
32. IF A SEDIMENT POND IS NOT PROPOSED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS.

33. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTEAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.

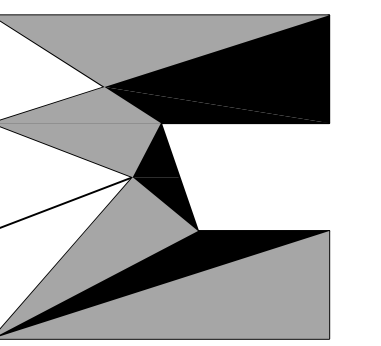
34. RECYCLED CONCRETE SHALL NOT BE STOCKPILED ON SITE, UNLESS FULLY COVERED WITH NO POTENTIAL FOR RELEASE OF RUNOFF.



C1 TEMPORARY STOCK PILE DETAIL N.T.S.



C3 SILT FENCE DETAIL N.T.S.

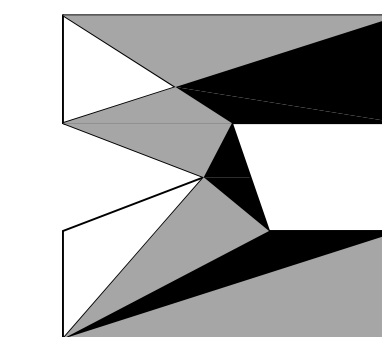


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A0.2



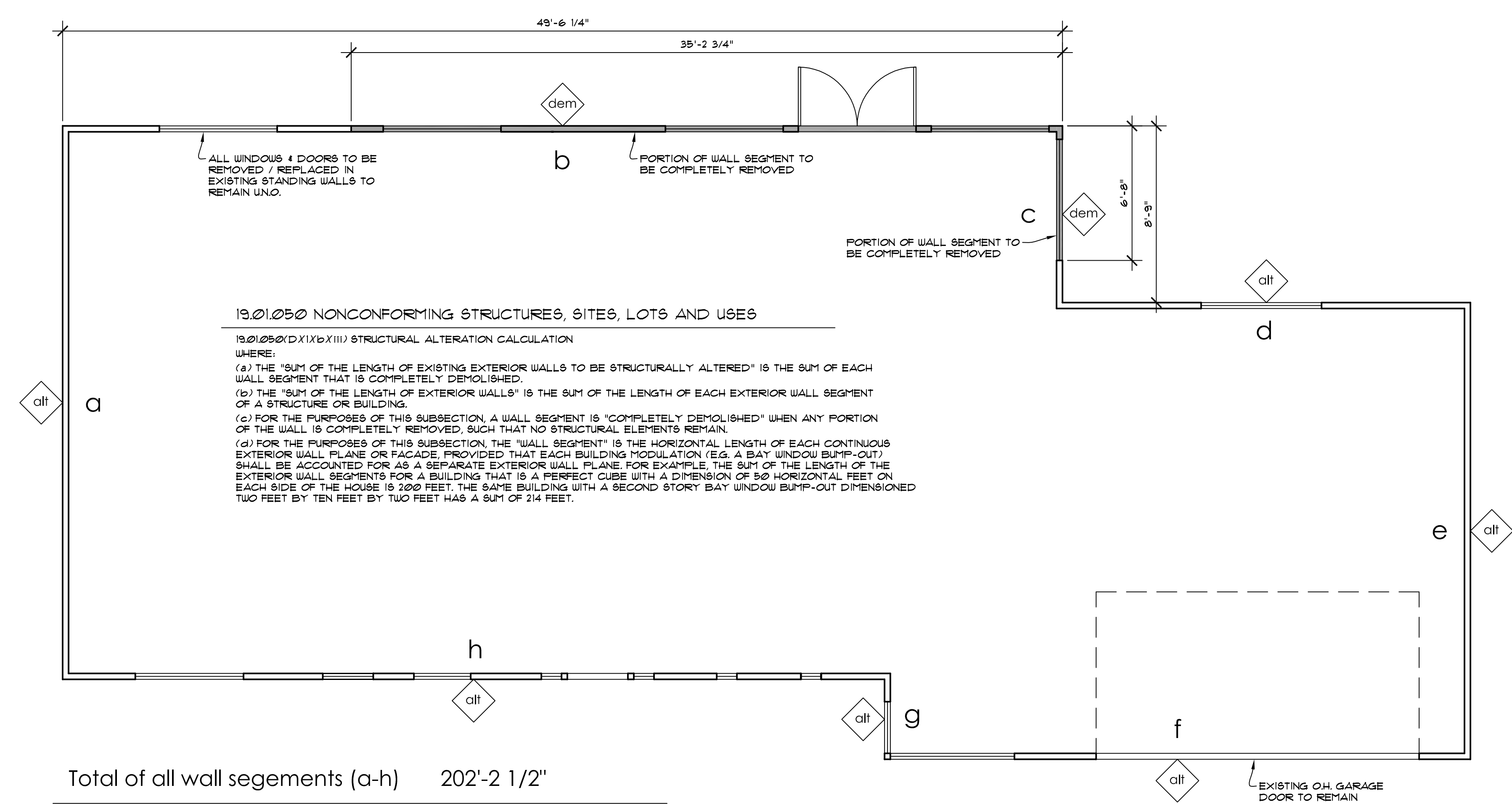
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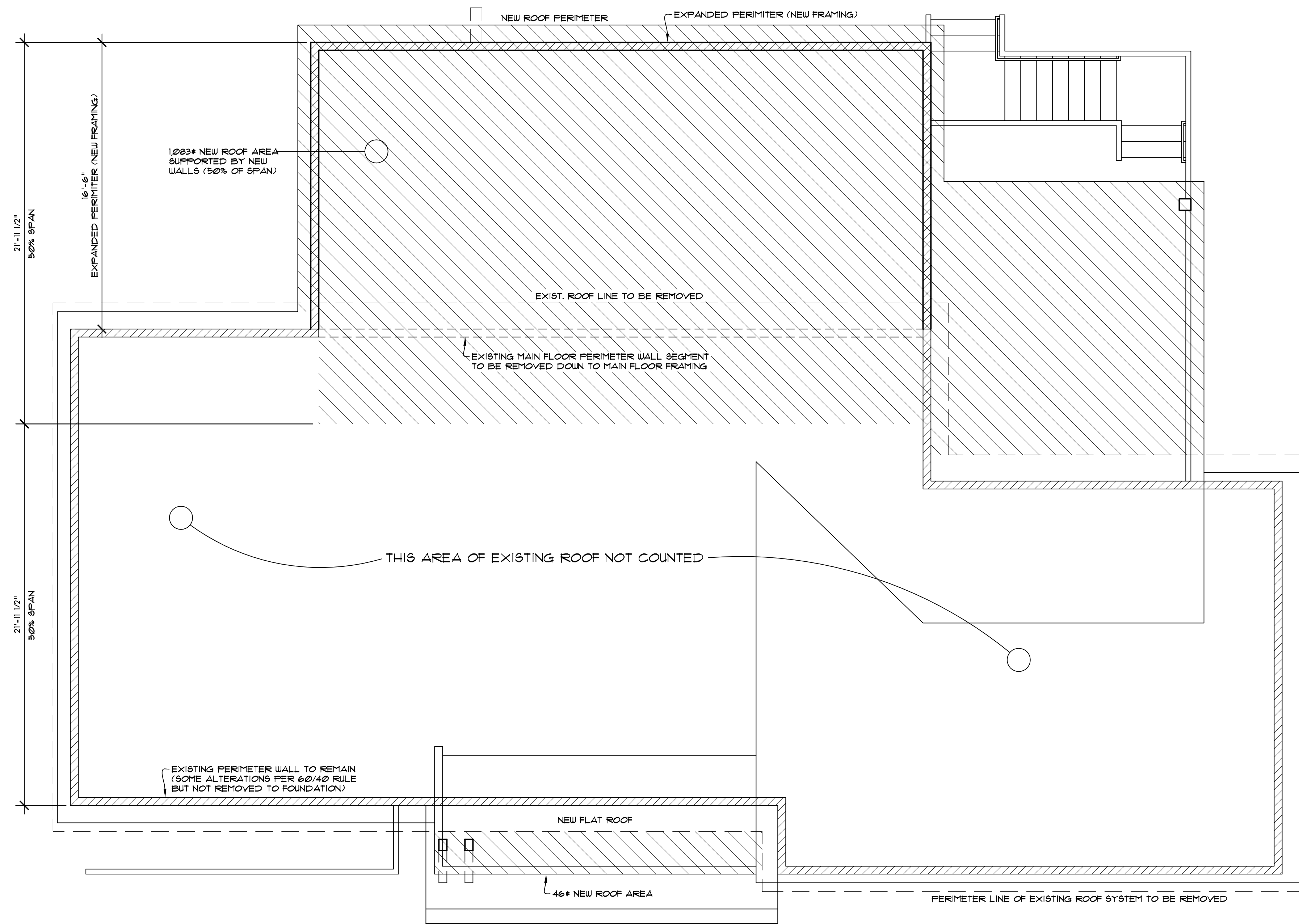
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A0.3

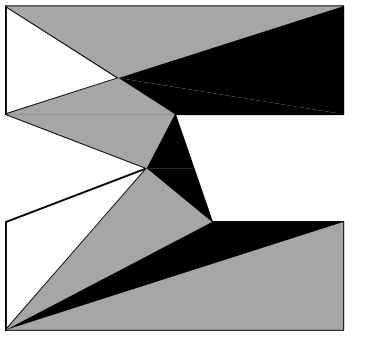


Perimeter wall summary

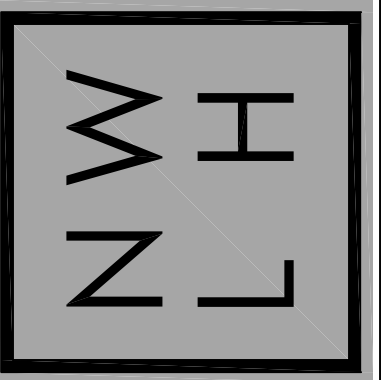


1,226# OF COUNTABLE REPLACEMENT ROOF AREA

Roof replacement area summary proposed



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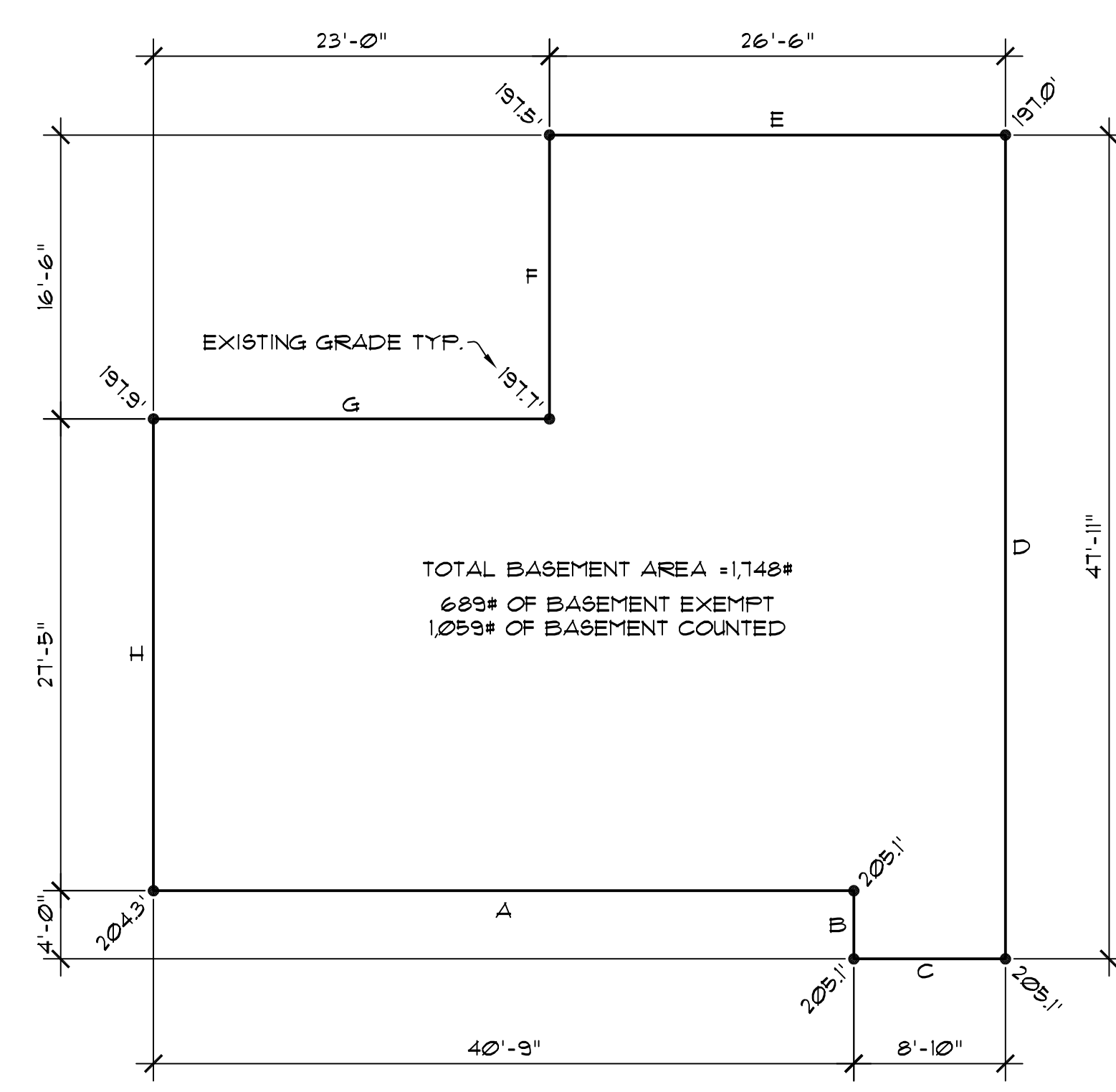
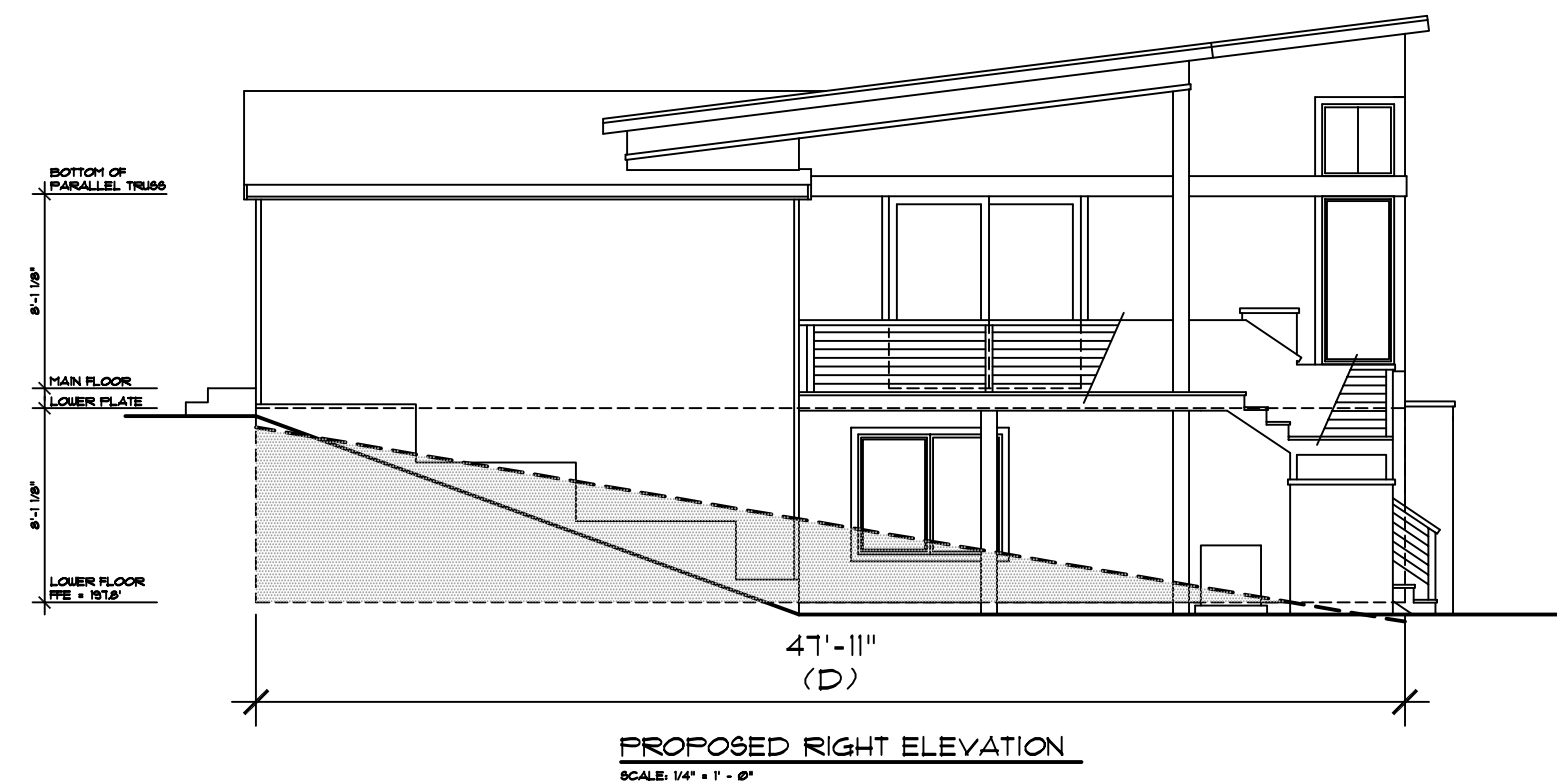
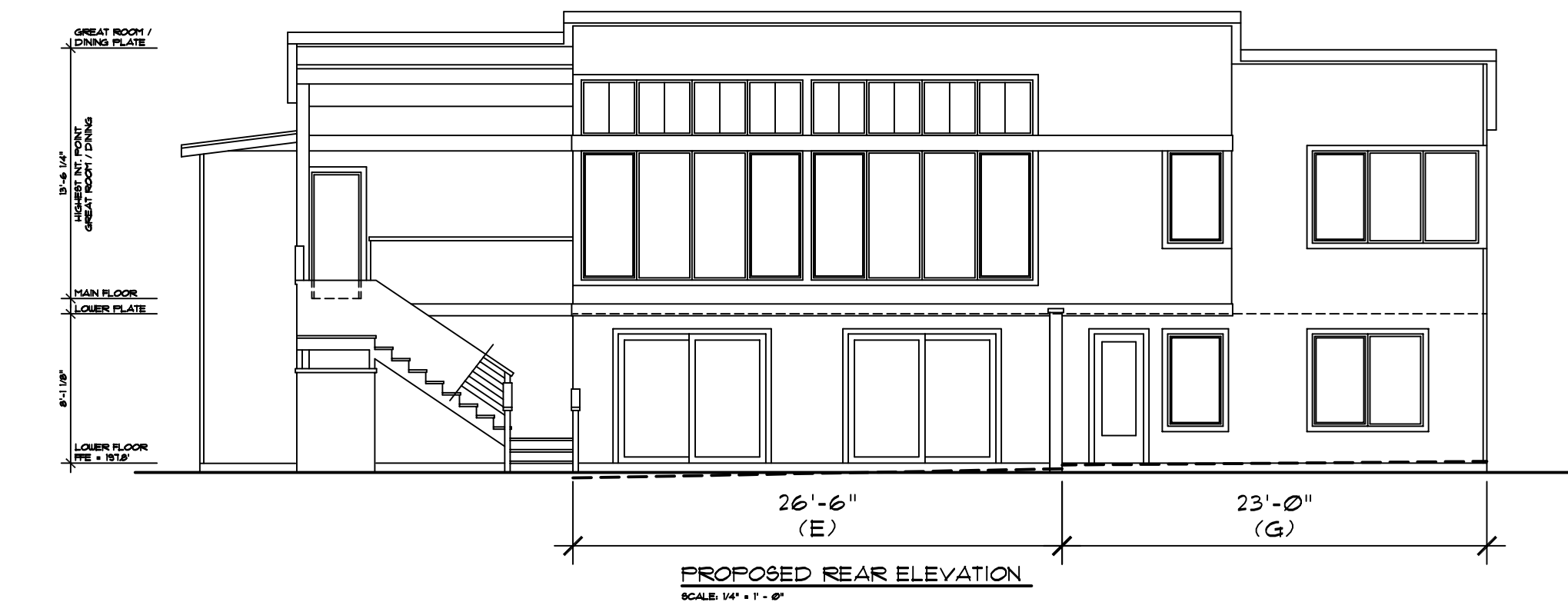
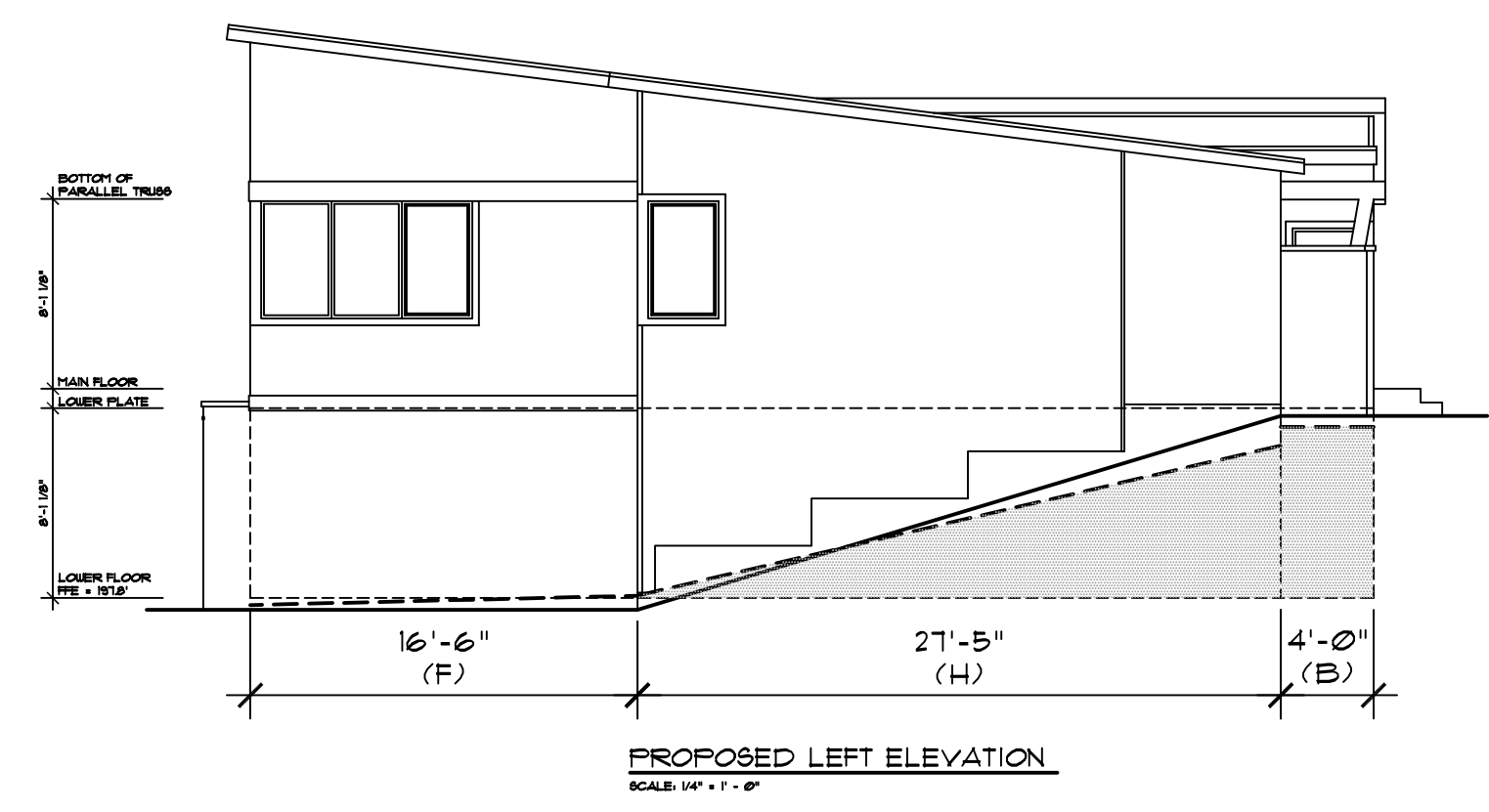
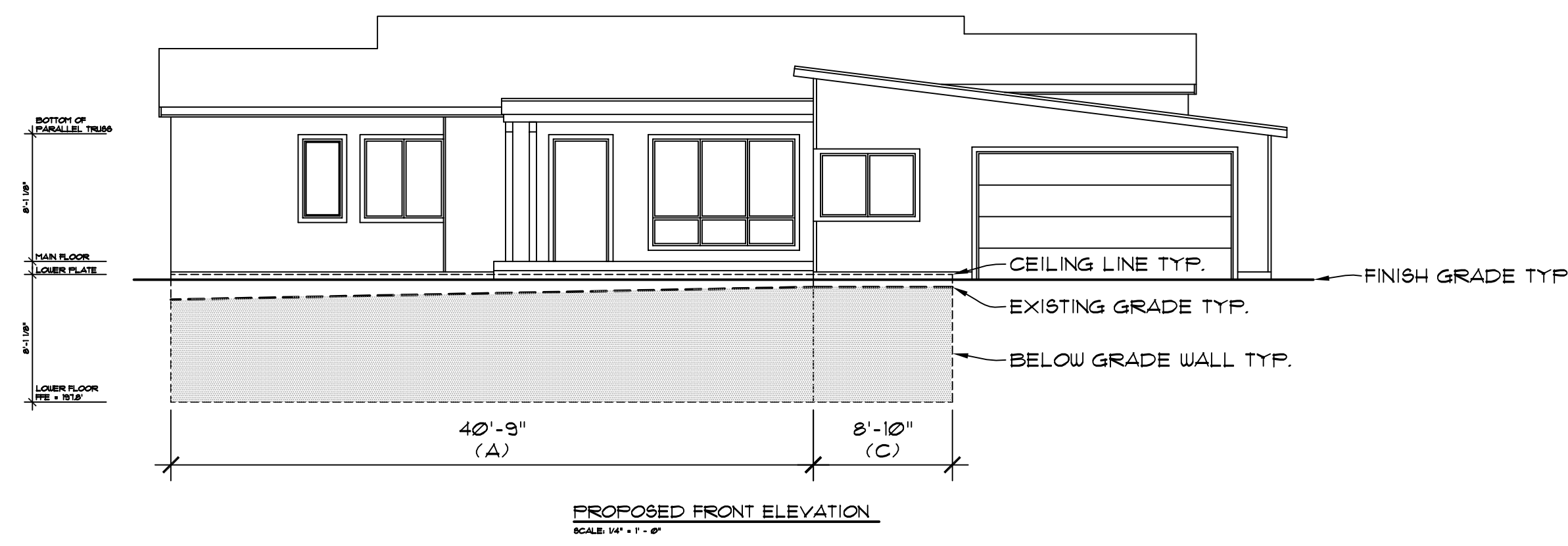
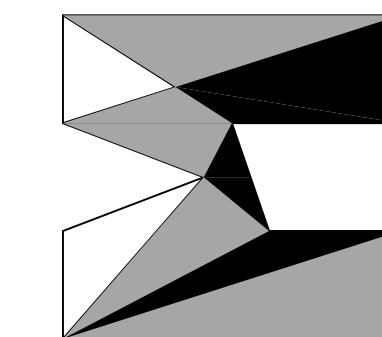


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A0.4



WALL 'A'
BELOW GRADE +28#
ABOVE GRADE +48#
TOTAL BASEMENT WALL +329#
TOTAL BELOW GRADE +85.4%

WALL 'B'
BELOW GRADE +29#
ABOVE GRADE +3#
TOTAL BASEMENT WALL +32#
TOTAL BELOW GRADE +90.6%

WALL 'C'
BELOW GRADE +64#
BELOW GRADE +1#
TOTAL BASEMENT WALL +1#
TOTAL BELOW GRADE +90.1%

WALL 'D'
BELOW GRADE +157#
ABOVE GRADE +230#
TOTAL BASEMENT WALL +387#
TOTAL BELOW GRADE +40.5%

WALL 'E'
BELOW GRADE +0#
ABOVE GRADE +214#
TOTAL BASEMENT WALL +214#
TOTAL BELOW GRADE +0%

WALL 'F'
BELOW GRADE +0#
ABOVE GRADE +134#
TOTAL BASEMENT WALL +134#
TOTAL BELOW GRADE +0%

WALL 'G'
BELOW GRADE +0#
ABOVE GRADE +186#
TOTAL BASEMENT WALL +186#
TOTAL BELOW GRADE +0%

WALL 'H'
BELOW GRADE +90#
ABOVE GRADE +129#
TOTAL BASEMENT WALL +222#
TOTAL BELOW GRADE +40.5%

INFORMATION TAKEN FROM TOPOGRAPHIC & BOUNDARY SURVEY DATED 2/01/2024 BY TERRANE (JOB #232363)

WALL SEGMENT	LENGTH	COVERAGE	RESULT
A	40.75'	85.4%	34.8
B	4.0'	90.6%	3.6
C	8.83'	90.1%	7.96
D	47.92'	40.5%	19.4
E	26.5'	0%	0
F	16.5'	0%	0
G	23.0'	0%	0
H	27.42'	40.5%	11.1
TOTALS	194.92'	N/A	76.86

76.86 / 194.92 = 39.4%

1,748 x 39.4% = 689# EXEMPT FROM GROSS FLOOR AREA

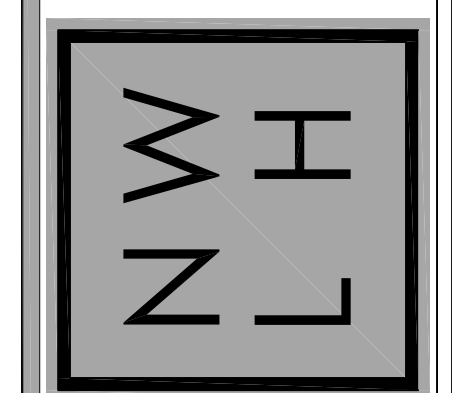
1,748 - 689 = 1,059# OF BASEMENT COUNTED

GROSS FLOOR AREA CALCULATIONS	
SITE AREA	= 9,618#
ALLOWABLE F.A.R. (LESSER OF)	= 40% OR 8,000#
40% x 9,618#	= MAX. 3,847#
MAIN FLOOR	= 1,628#
MAIN FLOOR 15% MODIFIER (330#x150%)	= 495#
GARAGE @ MAIN FLOOR	= 457#
LOWER FLOOR	= 1,171#
LOWER FLOOR ADJ. UNIT	= 577#
TOTAL FLOOR AREA	= 4,328#
BASEMENT EXCLUSION	= (689#)
PROPOSED G.F.A.	= 3,639#
RESULT: WITHIN CODE PARAMETERS	

GROSS FLOOR AREA CALCULATIONS

SCALE: 1/8" = 1'-0"
SUBJECT PROPERTY TAX PARCEL NO. 5459000110
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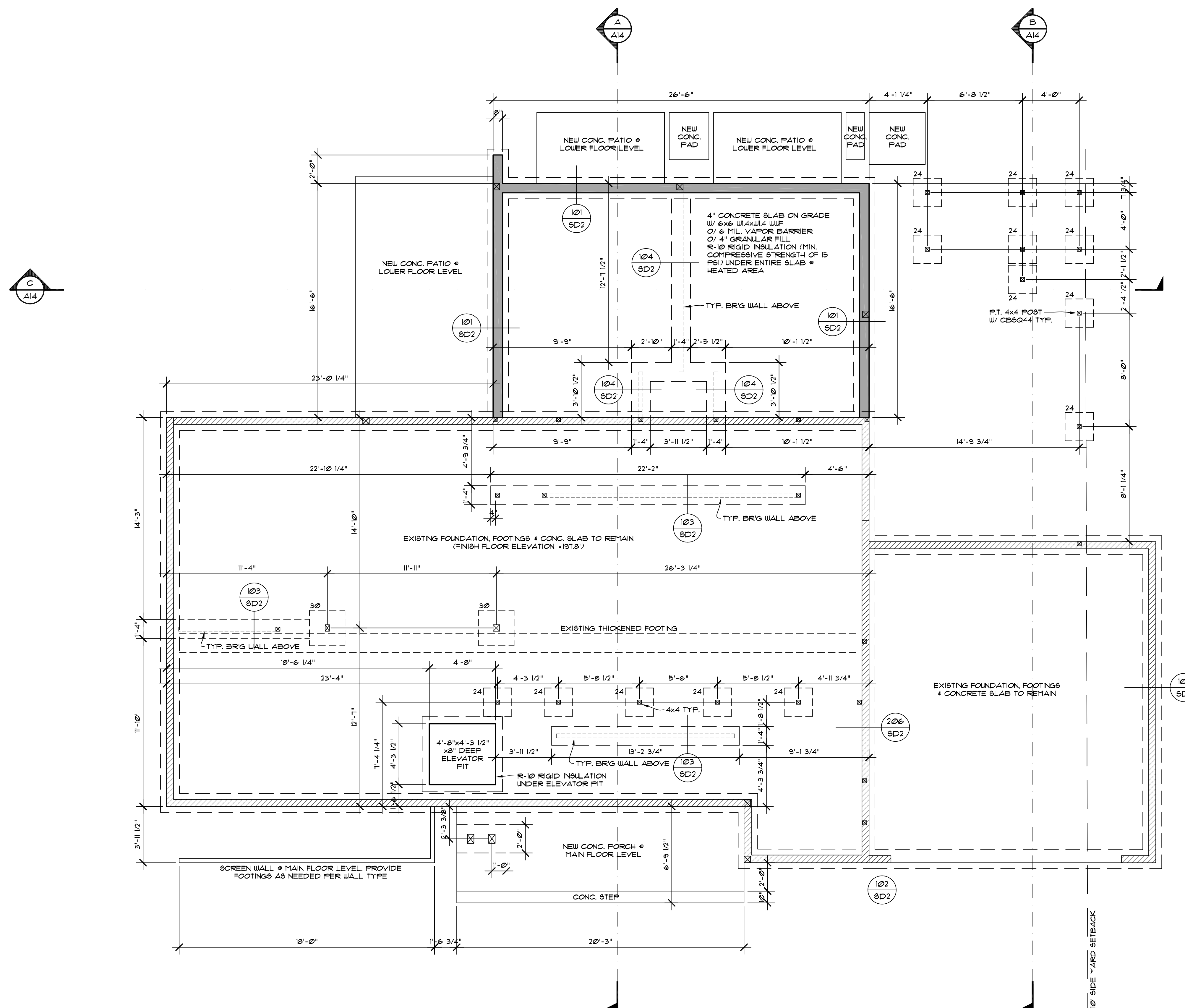
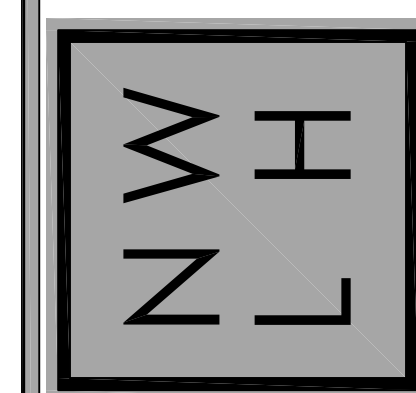
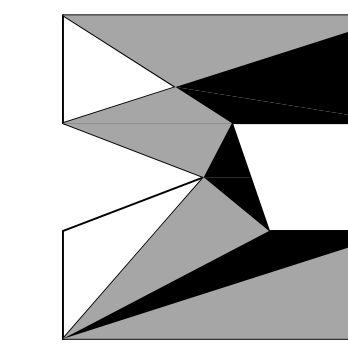
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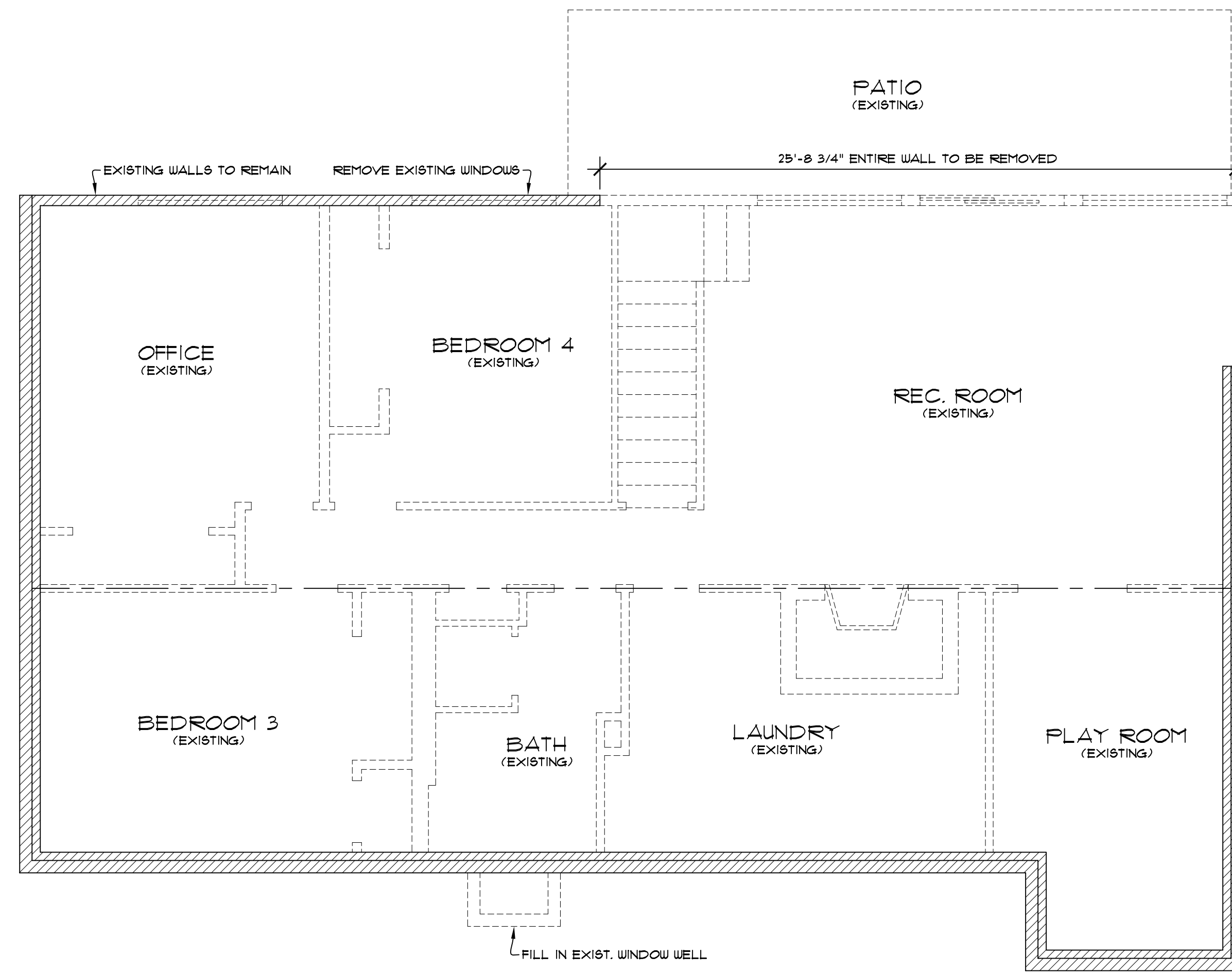
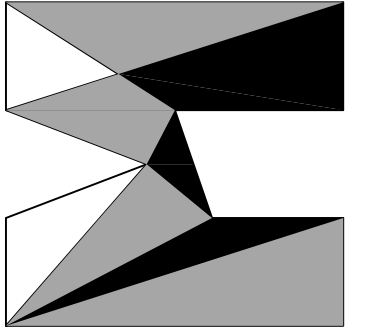
NOTE:
SEE SHEET SD1 FOR FOOTING SCHEDULE

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.

PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1' - 0"



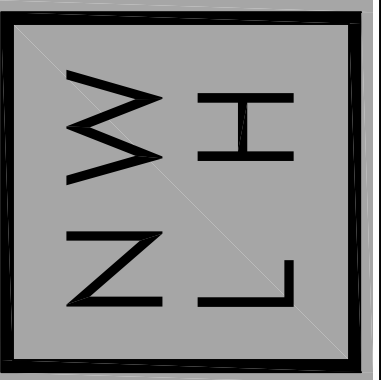
WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED

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EXISTING LOWER FLOOR DEMO PLAN

SCALE: 1/4" = 1' - 0"

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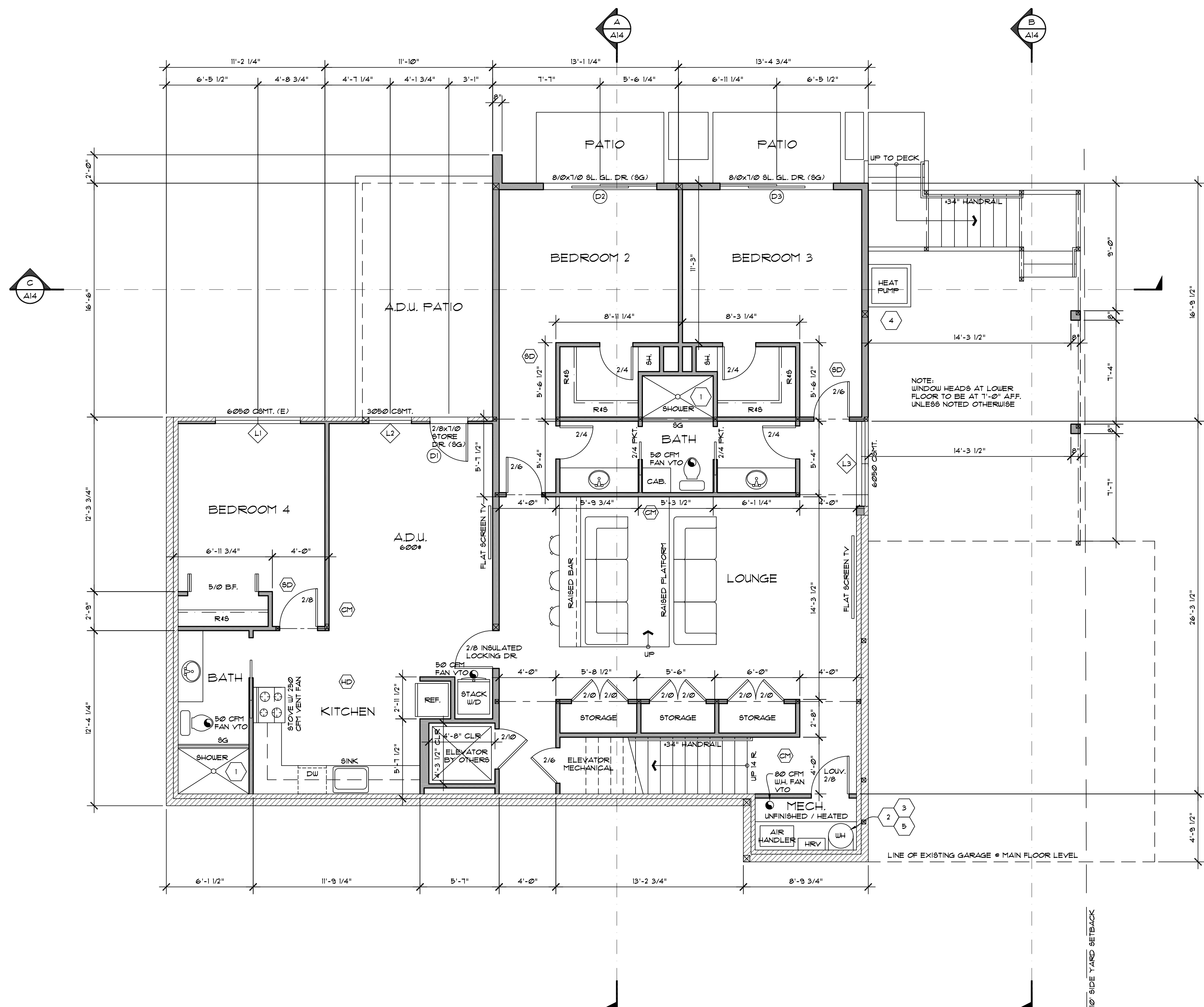
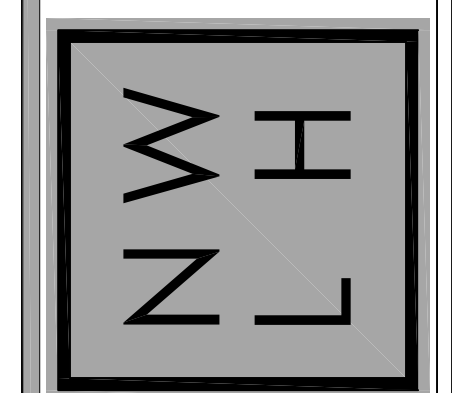
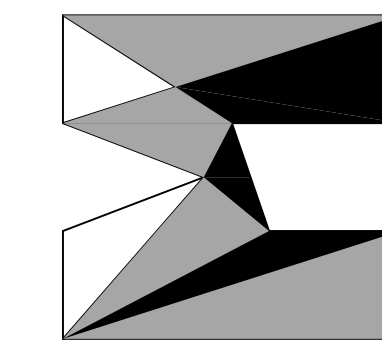


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SHEET NO.

A2

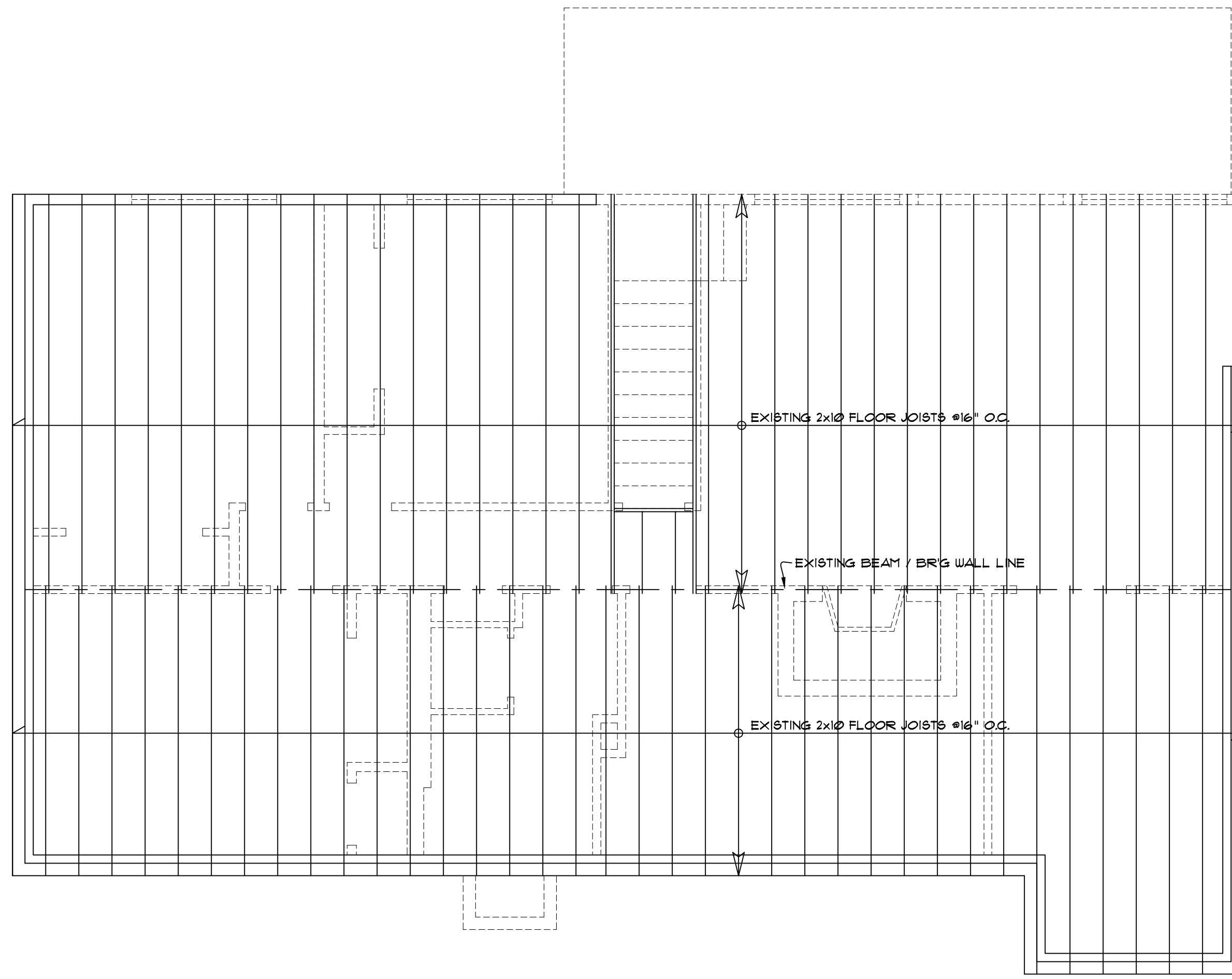


WALL LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS

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PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1' - 0"

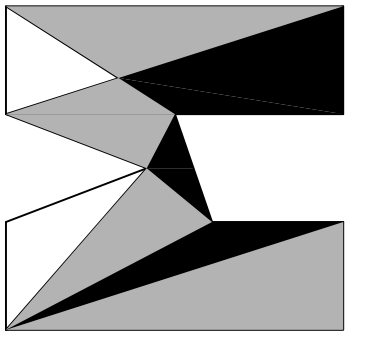
	EXTERIOR DOOR TAG. SEE DOOR SCHEDULE ON SHEET A16
	EXTERIOR WINDOW TAG. SEE WINDOW SCHEDULE ON SHEET A16
	CONC. FIBERBOARD @ TUB & SHOWER SURROUND TO 6" ABOVE DRAIN
	PILOTS & BURNERS OR HTG. ELEMENTS & SWITCHES TO BE AT LEAST 18" ABOVE FLOOR. MIN. 6" DIA. FRESH AIR DUCT TO CONNECT TO RETURN AIR FLENUM
	WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT CAUSED BY EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF THE APPLIANCE'S VERTICAL DIMENSIONS. AT THE LOWER POINT, THE STRAPPING SHALL MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS
	PER ENERGY CREDIT 3.5: AIR-SOURCED CENTRALLY DUCTED HEAT PUMP WITH A MINIMUM H8FF OF 110
	PER ENERGY CREDIT 5.5: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEAA'S ADVANCED WATER HEATING SPECIFICATION
	INDICATES 110V HARD WIRED SMOKE DETECTOR WITH BATTERY BACKUP
	INDICATES 110V HARD WIRED SMOKE & CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP
	INDICATES 110V HARD WIRED HEAT DETECTOR WITH BATTERY BACKUP INTERCONNECTED TO CARBON MONOXIDE DETECTORS AT TOP & BOTTOM OF STAIRS



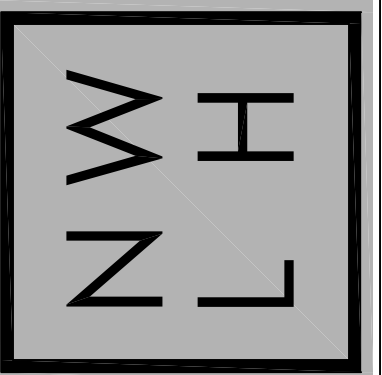
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EXISTING MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1' - 0"



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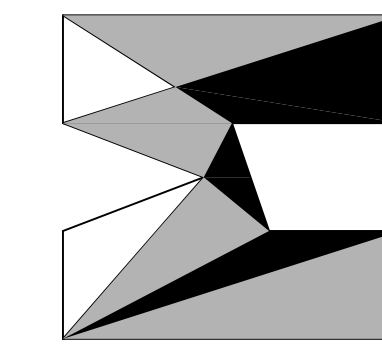


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A4



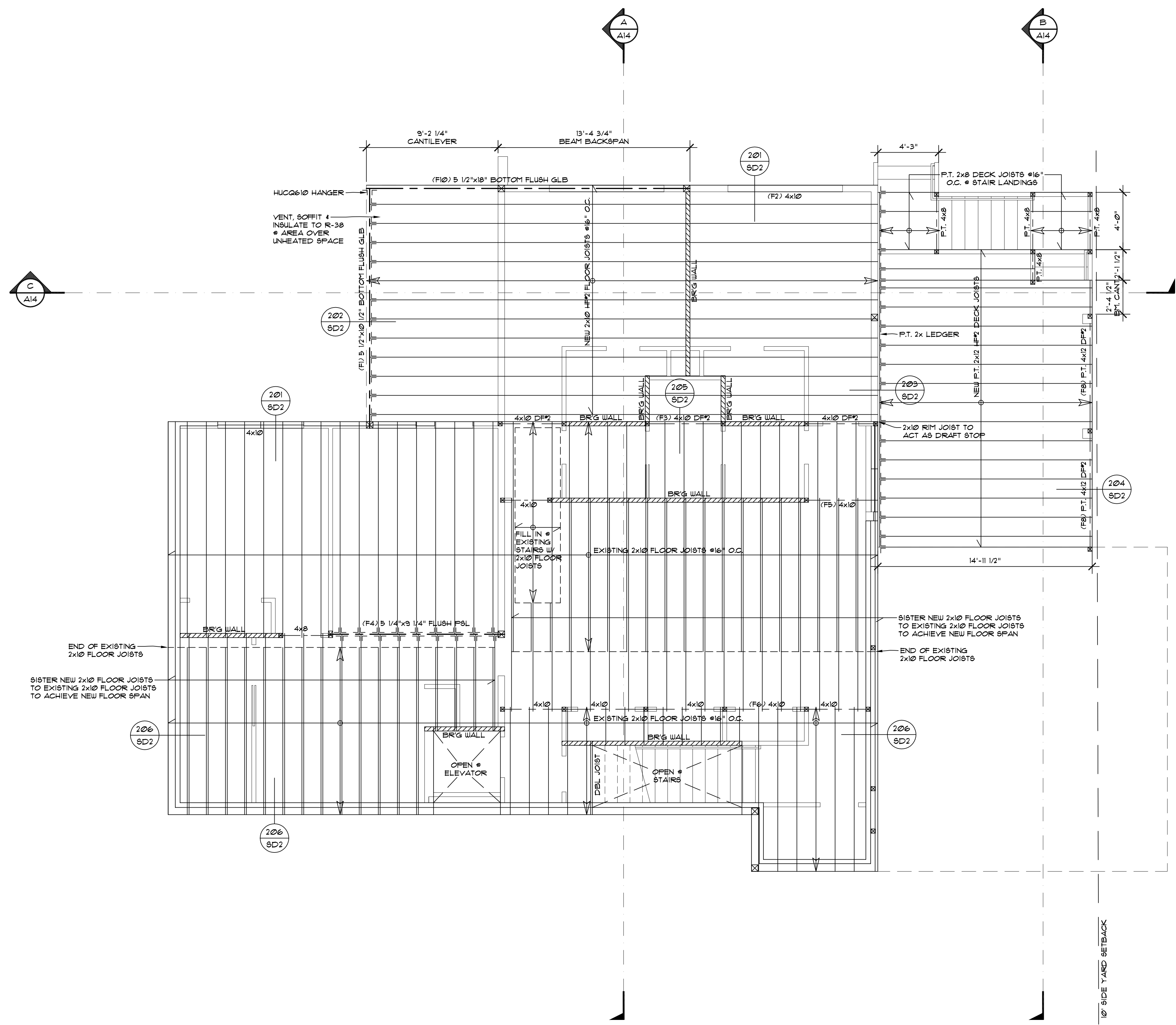
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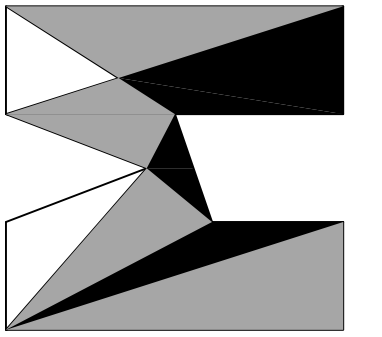
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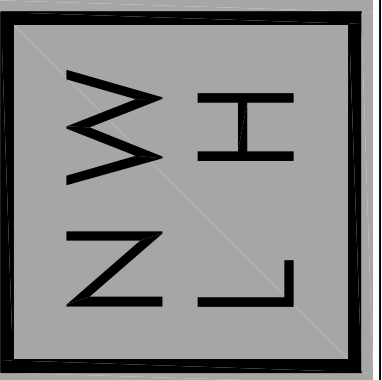


PROPOSED MAIN FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"

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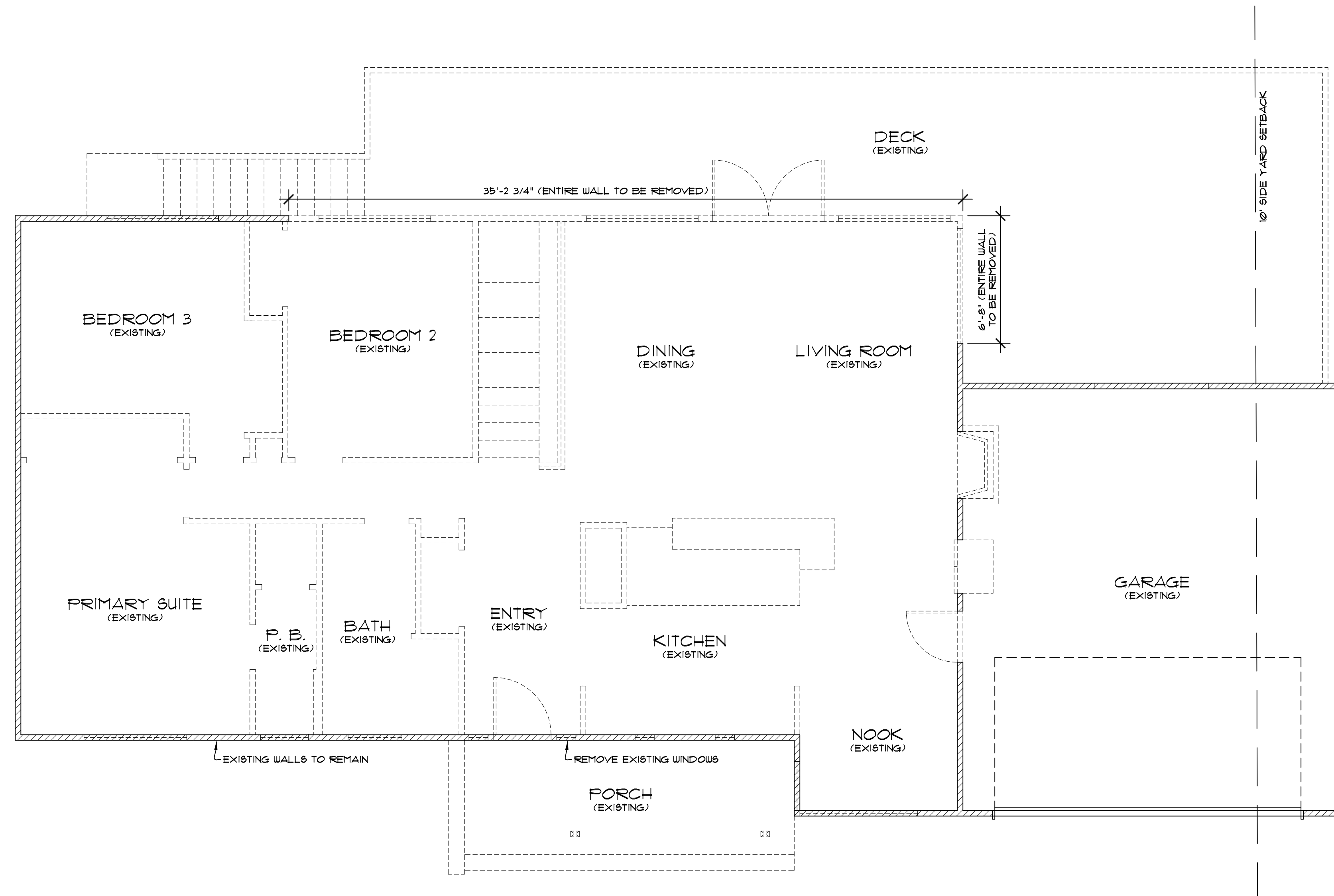


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A6



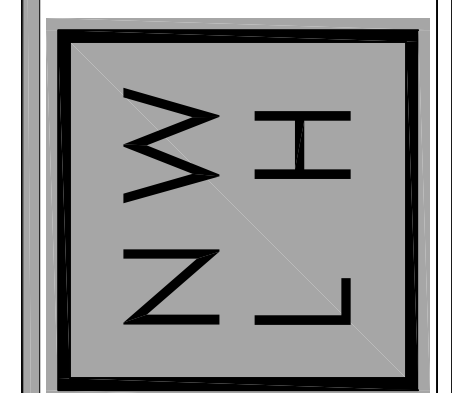
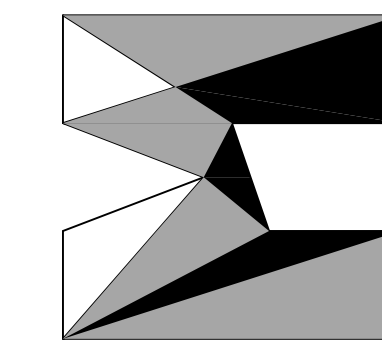
WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED

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EXISTING MAIN FLOOR DEMO PLAN

SCALE: 1/4" = 1' - 0"

EXISTING SQUARE FOOTAGE SUMMARY	
MAIN FLOOR	- 1,370#
LOWER FLOOR	- 1,340#
TOTAL HEATED	- 2,710#
GARAGE	- 457#
DECK	- 591#
FRONT PORCH	- 123#
L.F. PATIO	- 201#



PER 2018 WASHINGTON STATE ENERGY CODE - ALTERATIONS WORKSHEET FOR PRIMARY RESIDENCE:

EXISTING EXPOSED WALL CAVITIES MUST BE INSULATED W/:
3x4 STUD WALLS - R-5 INSULATION;
2x6 STUD WALLS - R-21 INSULATION.

EXISTING EXPOSED ROOF/CEILING FRAMING MUST BE INSULATED W/;
VAULTED CEILINGS - INSULATED TO THE FULL DEPTH OF THE FRAMING MEMBER WHILE ALLOWING FOR THE MINIMUM 1" VENTILATED SPACE.
FLAT CEILINGS - R-49 INSULATION OR WHAT THE ATTIC SPACE CAN ACCOMMODATE BASED ON THE ROOF PITCH.

EXISTING EXPOSED FLOOR CAVITIES MUST BE INSULATED W/;
R-30 INSULATION.

IF HEATING AND COOLING SYSTEMS ARE BEING REPLACED,
NEW EQUIPMENT MUST MEET CURRENT REQUIREMENTS AND DUCTS NEED TO BE TESTED.

IF HOT WATER SYSTEMS IS BEING ALTERED,
NEW WATER HEATING EQUIPMENT MUST MEET CURRENT CODE REQUIREMENTS.

IF WINDOWS AND/OR DOORS ARE BEING REPLACED,
NEW WINDOWS AND DOORS MUST HAVE AN AREA WEIGHTED AVERAGE U-FACTOR OF LESS THAN OR EQUAL TO 0.30

IF MORE THAN 50% OF THE LIGHT FIXTURES ARE BEING CHANGED,
90% OF ALL LAMPS MUST BE HIGH-EFFICACY (LED OR CFL).

PER PRESCRIPTIVE REQUIREMENTS 2018 W.S.E.C. (MODIFIED FOR ENERGY CREDIT 13)

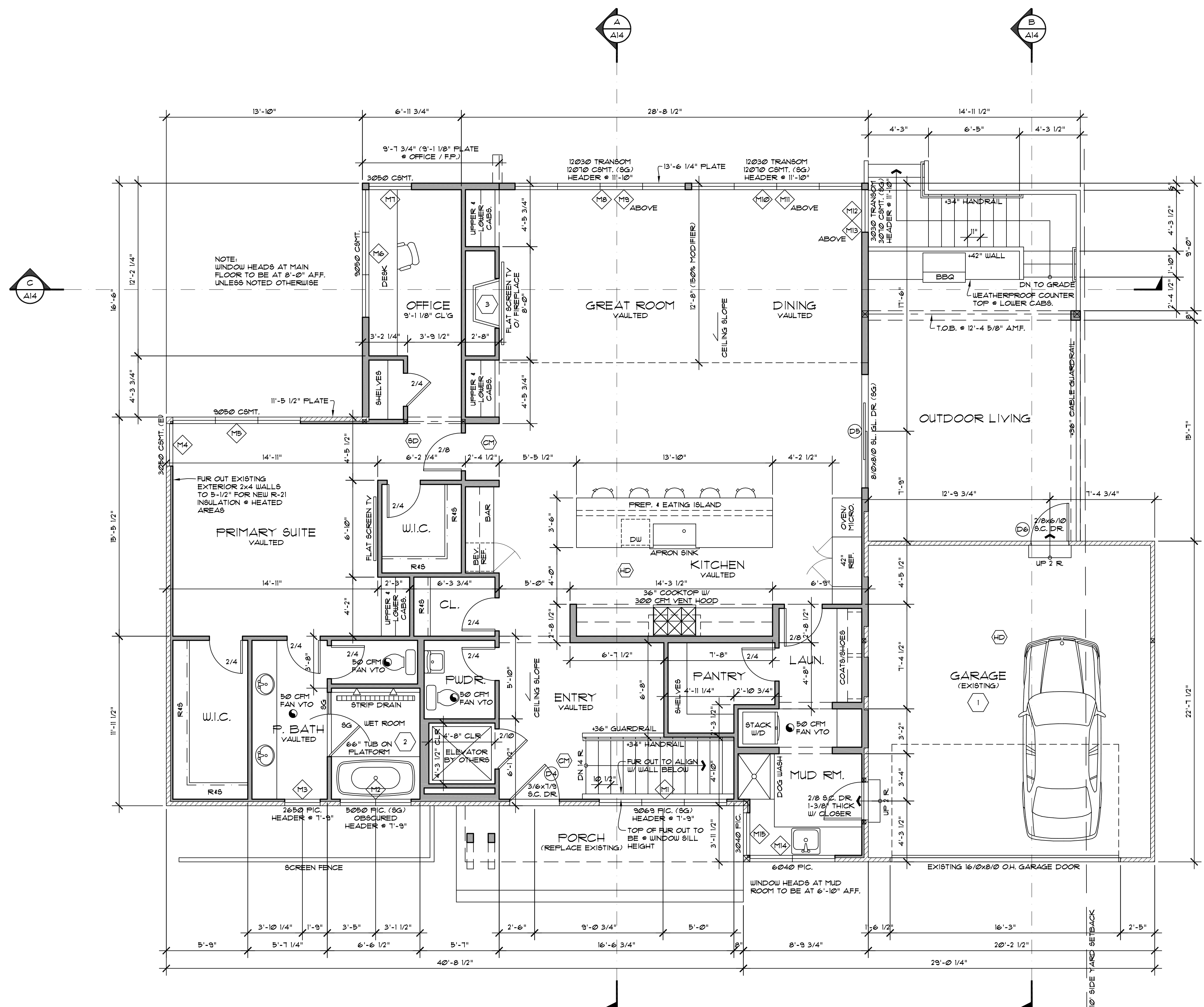
CLIMATE ZONE 5B
MAX. GLAZING U-FACTOR: VERT. U=28; OVERHEAD U=50
MAX. DOOR U-FACTOR: U=20
INSULATION @ CONDITIONED AREAS:
TRUSSED CEILING: R-49
VAULTED 4 SINGLE RAFTER CEILING: R-38 (R40222)
ABOVE GRADE WALLS: R-21
BELOW GRADE WALLS: R-21
FLOOR OVER VENTED CRAWL SPACE: R-30+
SLAB ON GRADE: R-10 + PERIMETER 4 UNDER ENTIRE SLAB.

PERCENT GLAZING 181% (8F. GLAZING AREA) +213%
CALCULATIONS: 3,706 (SF. FLOOR AREA)

PROPOSED SQUARE FOOTAGE SUMMARY

MAIN FLOOR	- 1,958#
LOWER FLOOR	- 1,171#
LOWER FLOOR A.D.U. UNIT	- 511#
TOTAL HEATED	- 3,706#
GARAGE	- 457#
OUTDOOR LIVING DECK	- 302#
FRONT PORCH	- 121#
A.D.U. PATIO	- 165#
BEDROOM 2 PATIO	- 45#
BEDROOM 3 PATIO	- 45#

⊗	EXTERIOR DOOR TAG. SEE DOOR SCHEDULE ON SHEET A16
⊠	EXTERIOR WINDOW TAG. SEE WINDOW SCHEDULE ON SHEET A16
1	5/8" TYPE 1X1 GIB OVER ALL WARM WALLS AND SECOND FLOOR FRAMING 4 SUPPORT MEMBERS. GARAGE CEILING PROTECTION TO BE CONTINUOUS ABOVE GARAGE.
2	CONC. FIBERBOARD 4 TUB 4 SHOWER SURROUND TO 6" ABOVE DRAIN
3	DIRECT VENT FIREPLACE. INSTALL PER MANUFACTURERS SPECIFICATIONS
4	22"x30" ATTIC ACCESS. WEATHERSTRIP 4 INSULATE OVER TO EQUAL CEILING INSULATION. PROVIDE WOOD SURROUND TO PREVENT LOOSE INSULATION SPILLAGE TO LIVING SPACE.
⊕	INDICATES 110V HARD WIRED SMOKE DETECTOR WITH BATTERY BACKUP
⊕	INDICATES 110V HARD WIRED SMOKE 4 CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP
⊕	INDICATES 110V HARD WIRED HEAT DETECTOR WITH BATTERY BACKUP INTERCONNECTED TO CARBON MONOXIDE DETECTORS AT TOP 4 BOTTOM OF STAIRS



NOTE:
WINDOW HEADS AT MAIN FLOOR TO BE AT 8'-0" AFF. UNLESS NOTED OTHERWISE

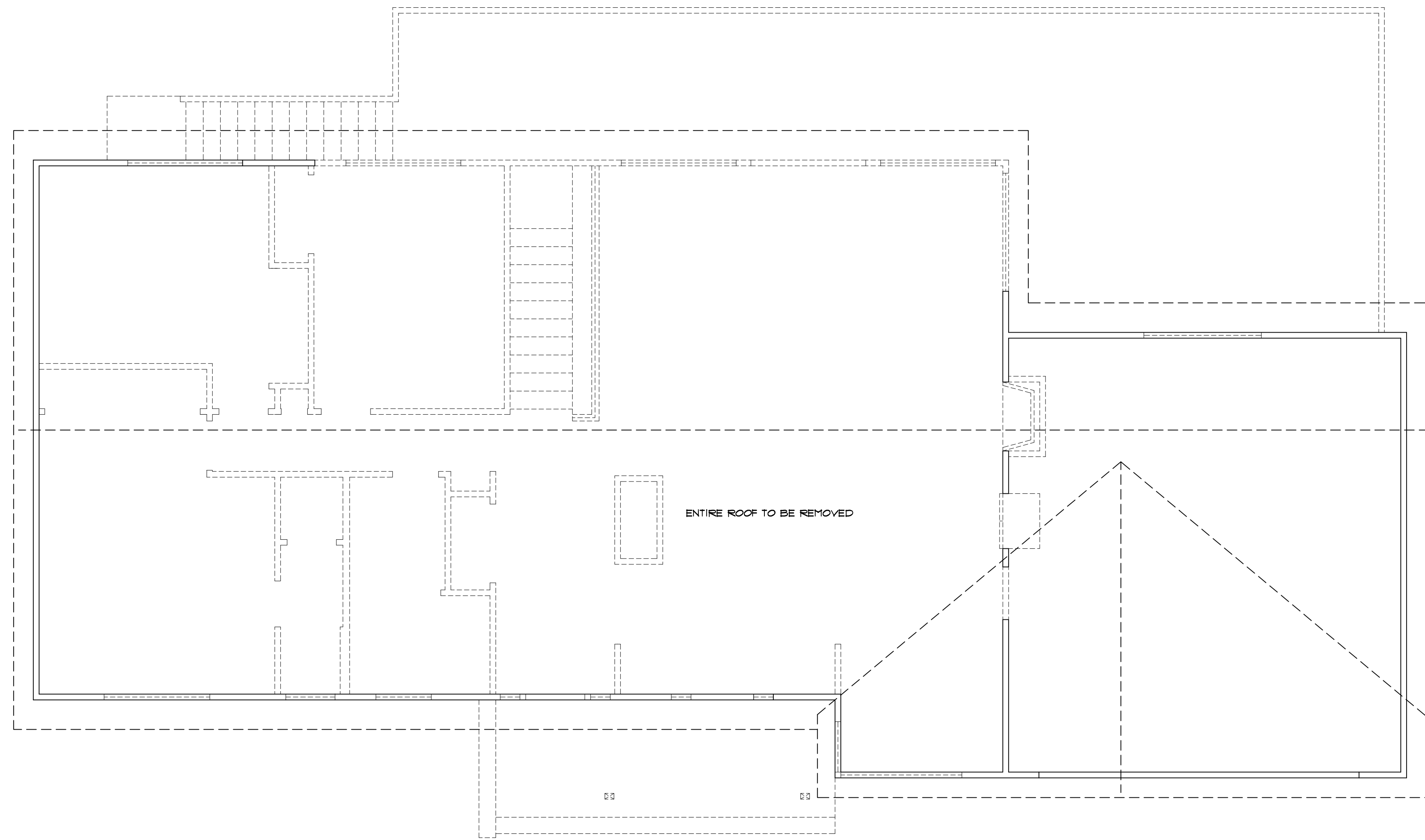
FUR OUT EXISTING EXTERIOR 2x4 WALLS TO 5-1/2" FOR NEW R-21 INSULATION @ HEATED AREAS

WINDOW HEADS AT MUD ROOM TO BE AT 6'-10" AFF.

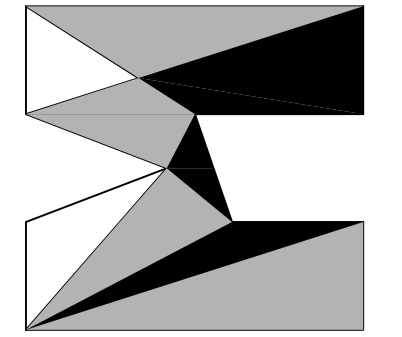
WALL LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS

PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1' - 0"

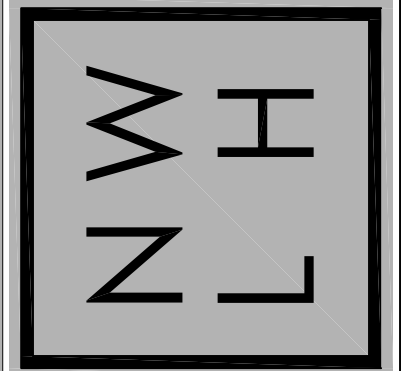


ENTIRE ROOF TO BE REMOVED



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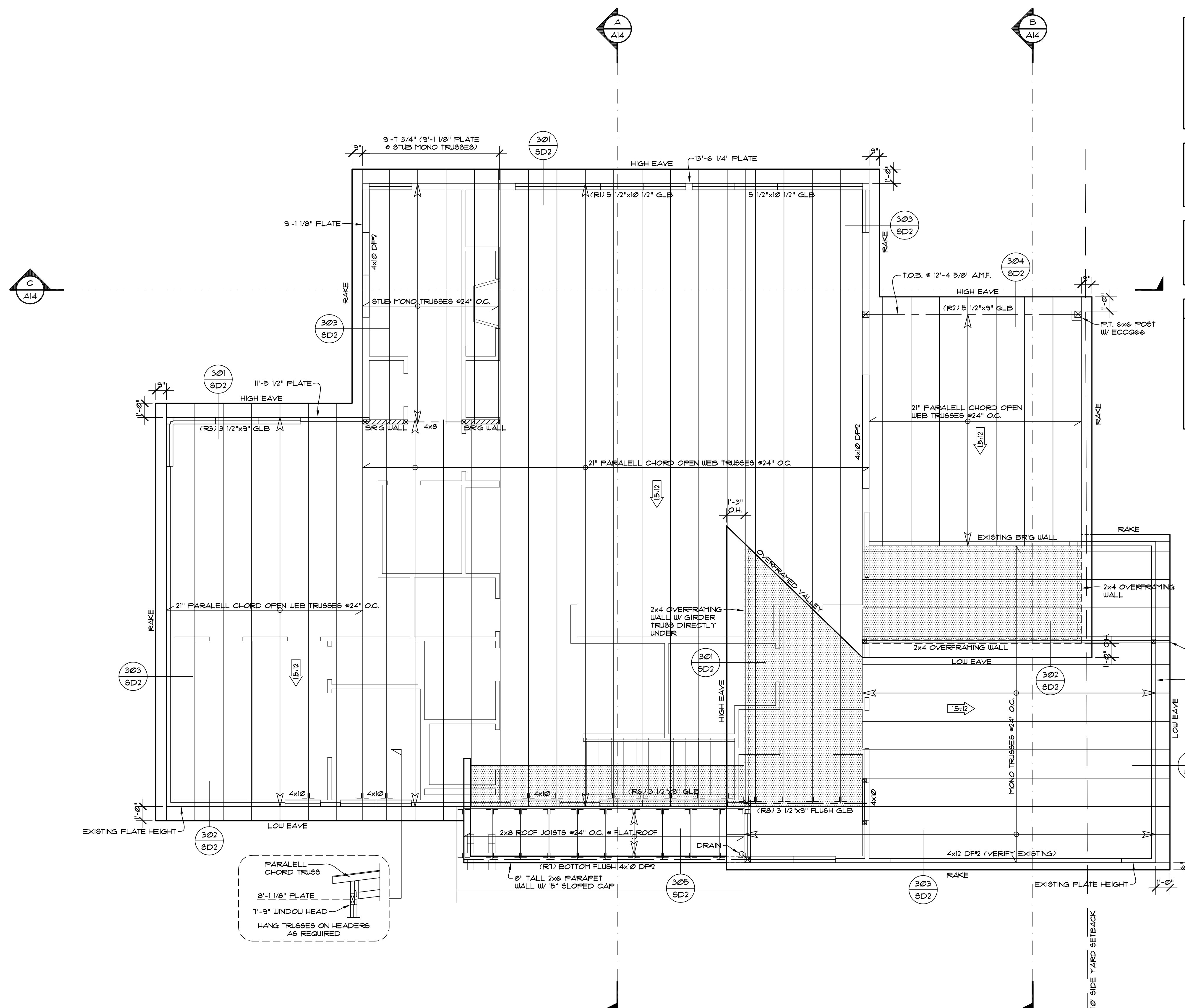
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REVISED:

SHEET NO.
A8

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.

EXISTING ROOF DEMO PLAN

SCALE: 1/4" = 1' - 0"



NOTE:
 ROOF SHEATHING IS CONTINUOUS ON ROOF TRUSSES/RAPERS EXTENDING UNDER OVERFRAMED AREAS THAT ARE SHADED UNO. CUT 12"x12" HOLES IN SHEATHING * EVERY OTHER BAY TO ALLOW FOR CROSS VENTILATION INTO OVERFRAMED AREAS.
 ALL HEADERS TO BE 4x10 DFP2 UNO.
 ALL ROOF PITCHES AS NOTED. [X/12] INDICATES DOWN SLOPE.
 AMF. = ABOVE MAIN FLOOR
 T.O.B. = TOP OF BEAM
 B.O.B. = BOTTOM OF BEAM

EXHAUST VENT CLEARANCES:
 PER IRC M1502.1 EXHAUST FAN VENTS SHALL TERMINATE OUTDOORS AND NOT IN ATTICS, SOFFITS, RIDGE VENTS, OR CRAWL SPACES, KITCHEN, BATHROOMS, AND LAUNDRY EXHAUST TERMINATIONS TO EXIT THE STRUCTURE WITH CLEARANCES MEETING IRC M1506.3, NOT LESS THAN 3 FEET FROM PROPERTY LINES, 3 FEET FROM OPERABLE OPENINGS IN THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES.

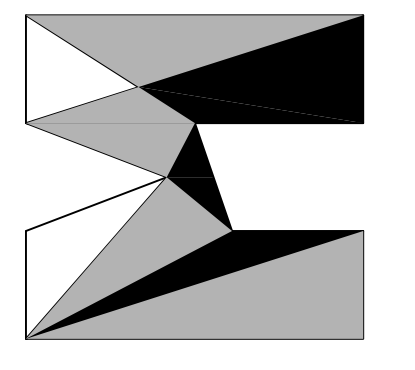
ALL TRUSSES:
 -SHALL CARRY MANUFACTURERS STAMP
 -SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS
 -WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPARTMENT APPROVAL OF ENGINEERING CALCULATIONS
 -SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION

ROOF VENTILATION CALCULATIONS	
TOTAL VENTILATION REQUIRED:	1381 / 300 = 6.6* NET FREE
HIGH EAWE VENTILATION	= 49.5 L.F. x 0.12* VENTING PER L.F. = 5.9*
LOW EAWE VENTILATION	= 210 L.F. x 0.12* VENTING PER L.F. = 25*
PROVIDE EAWE VENT BLOCKING * EVERY BAY	
SEE DETAIL 2/D FOR TRUSS VENT BLOCKING DETAIL	
MIN. 50% BY VENTILATION	= 6.6 x 0.5 = 3.3*
TOTAL VENTILATION PROVIDED:	
HIGH EAWE VENTILATION	= 5.9*
LOW EAWE VENTILATION	= 25*
TOTAL VENTILATION PROVIDED	= 8.4*
TOTAL VENTILATION REQUIRED	= 6.6*

[Hatched Box] HATCHING DENOTES 2x OVERFRAMING

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.

PROPOSED ROOF FRAMING PLAN
 SCALE: 1/4" = 1' - 0"



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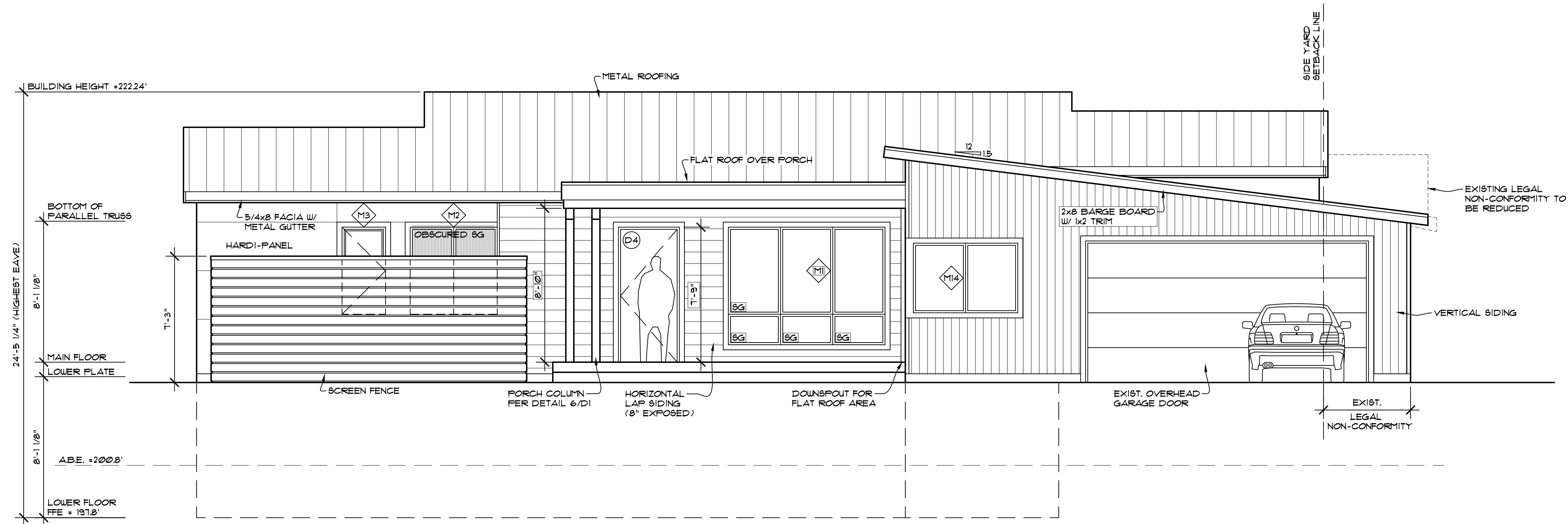
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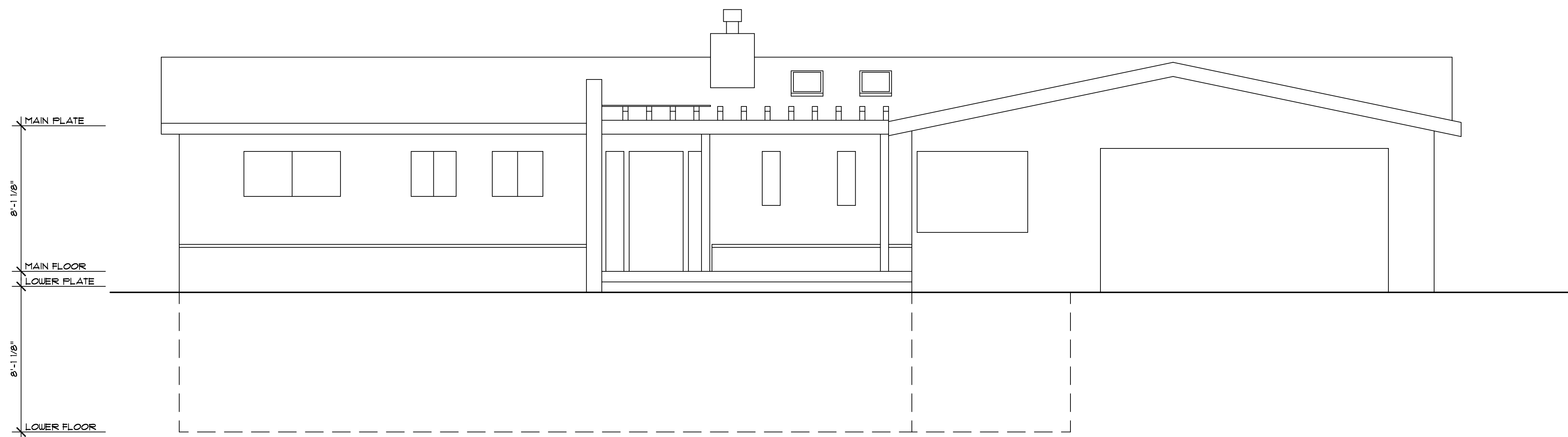
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A9

MAXIMUM BUILDING HEIGHT +230.8' (30' FROM A.B.E.)

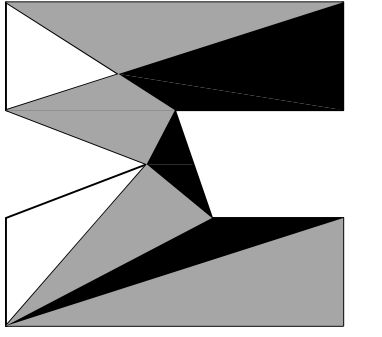


PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

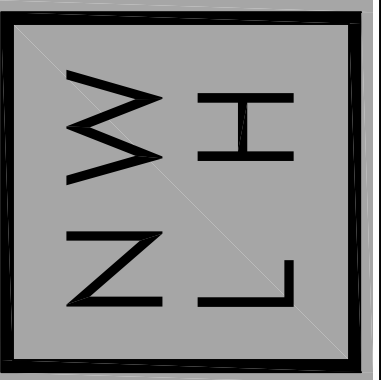


EXISTING FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

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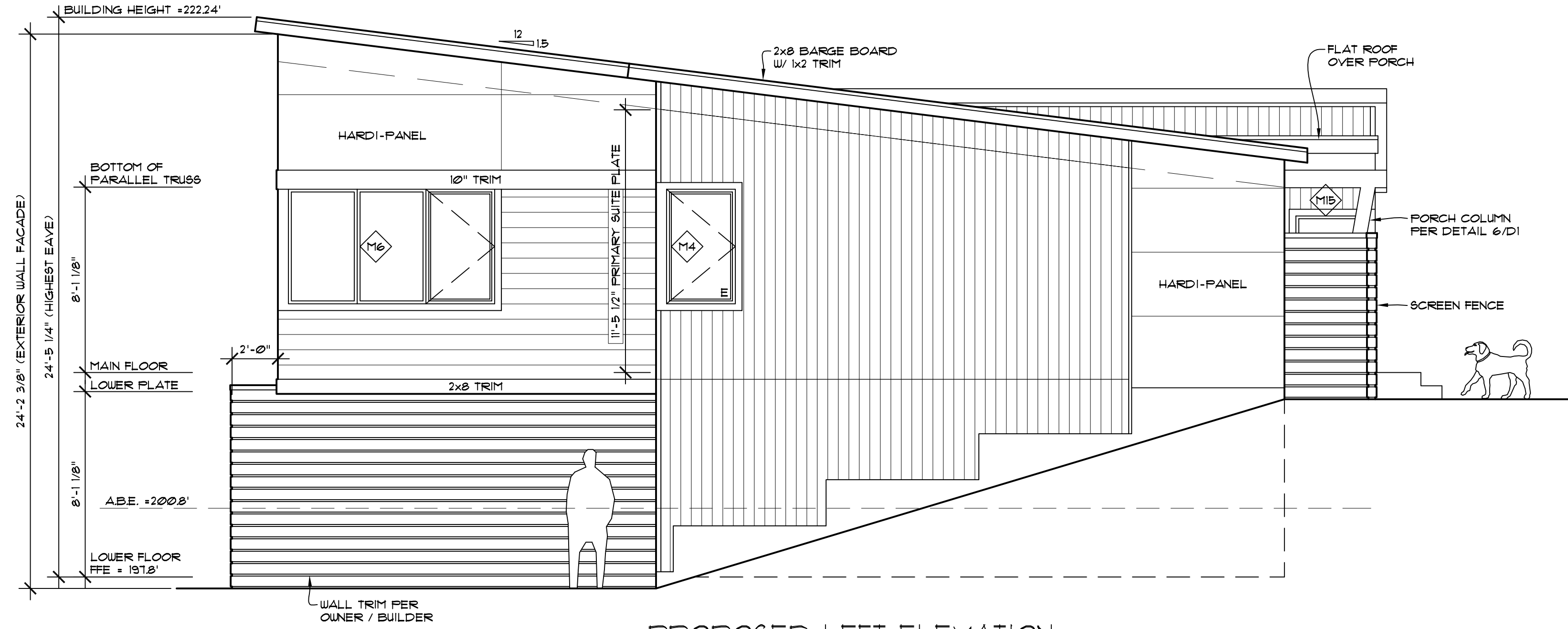
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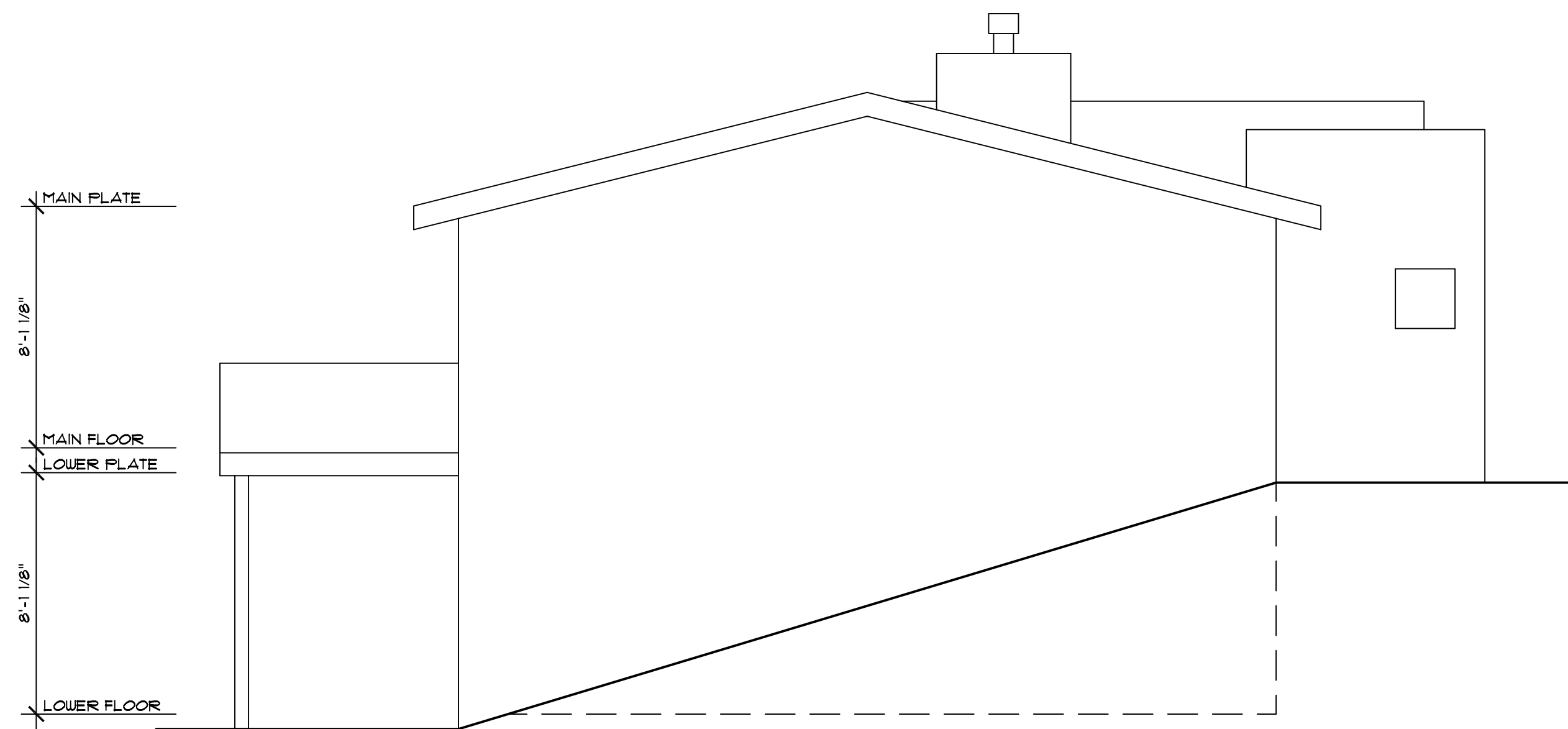
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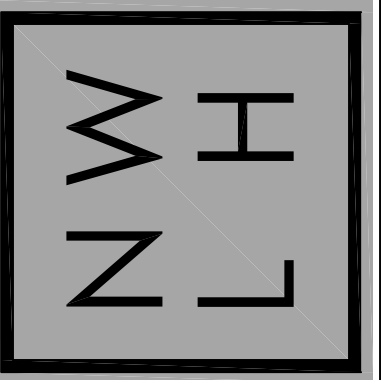
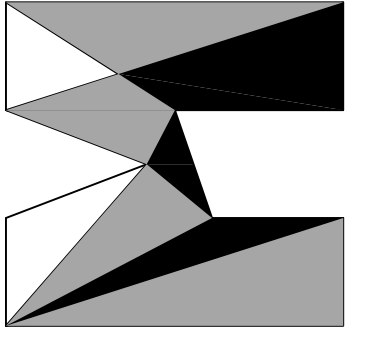
MAXIMUM BUILDING HEIGHT = 23@8' (3@' FROM A.B.E.)



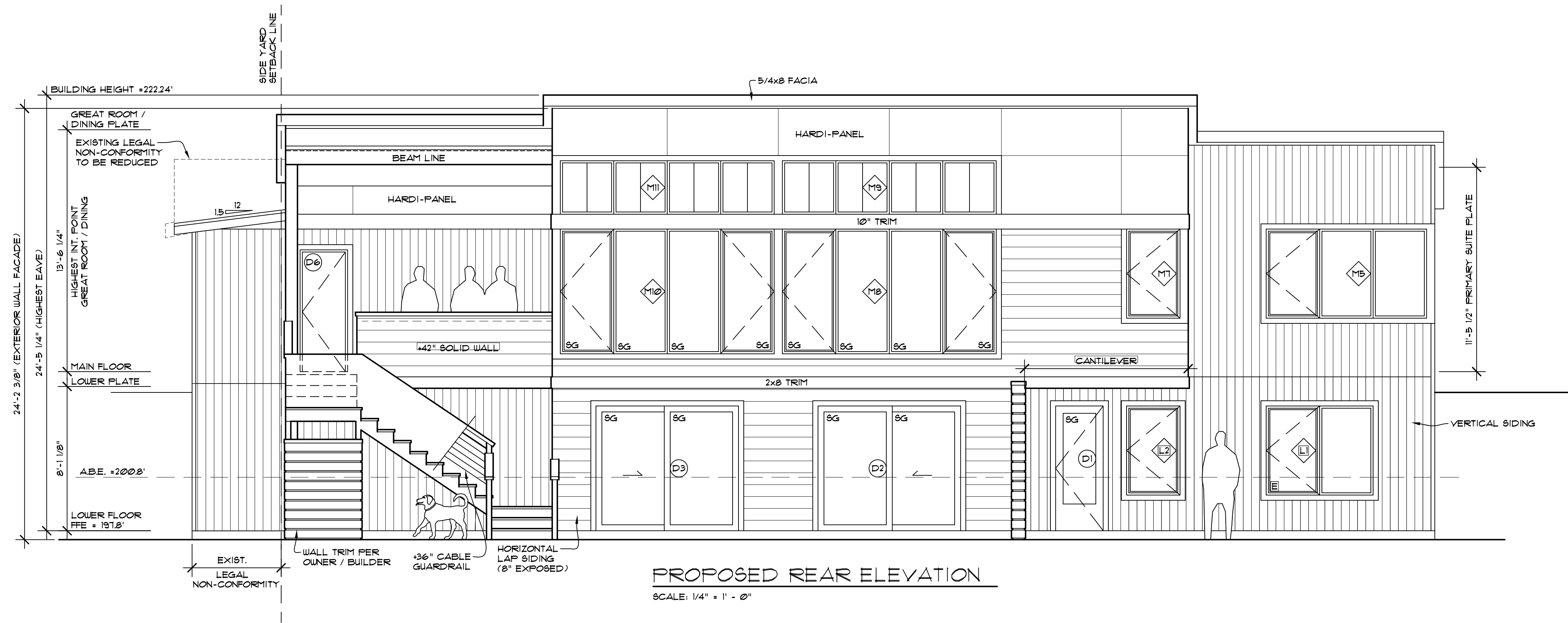
PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1' - 0"



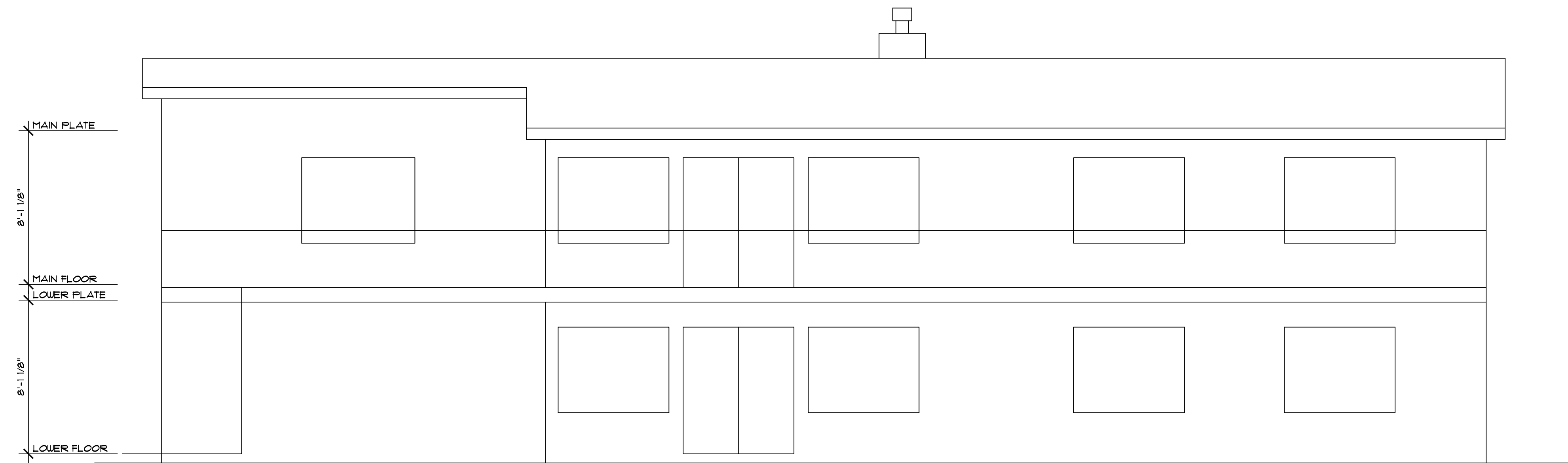
EXISTING LEFT ELEVATION
SCALE: 1/4" = 1' - 0"



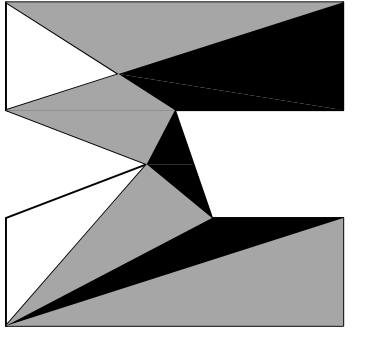
MAXIMUM BUILDING HEIGHT +2308' (30' FROM A.B.E.)



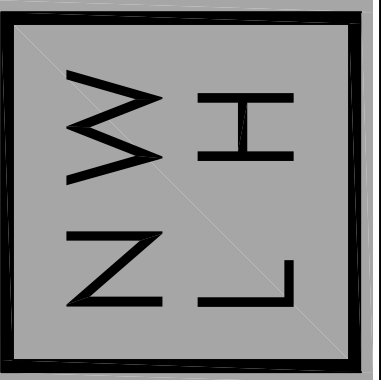
PROPOSED REAR ELEVATION
SCALE: 1/4" = 1' - 0"



EXISTING REAR ELEVATION
SCALE: 1/4" = 1' - 0"



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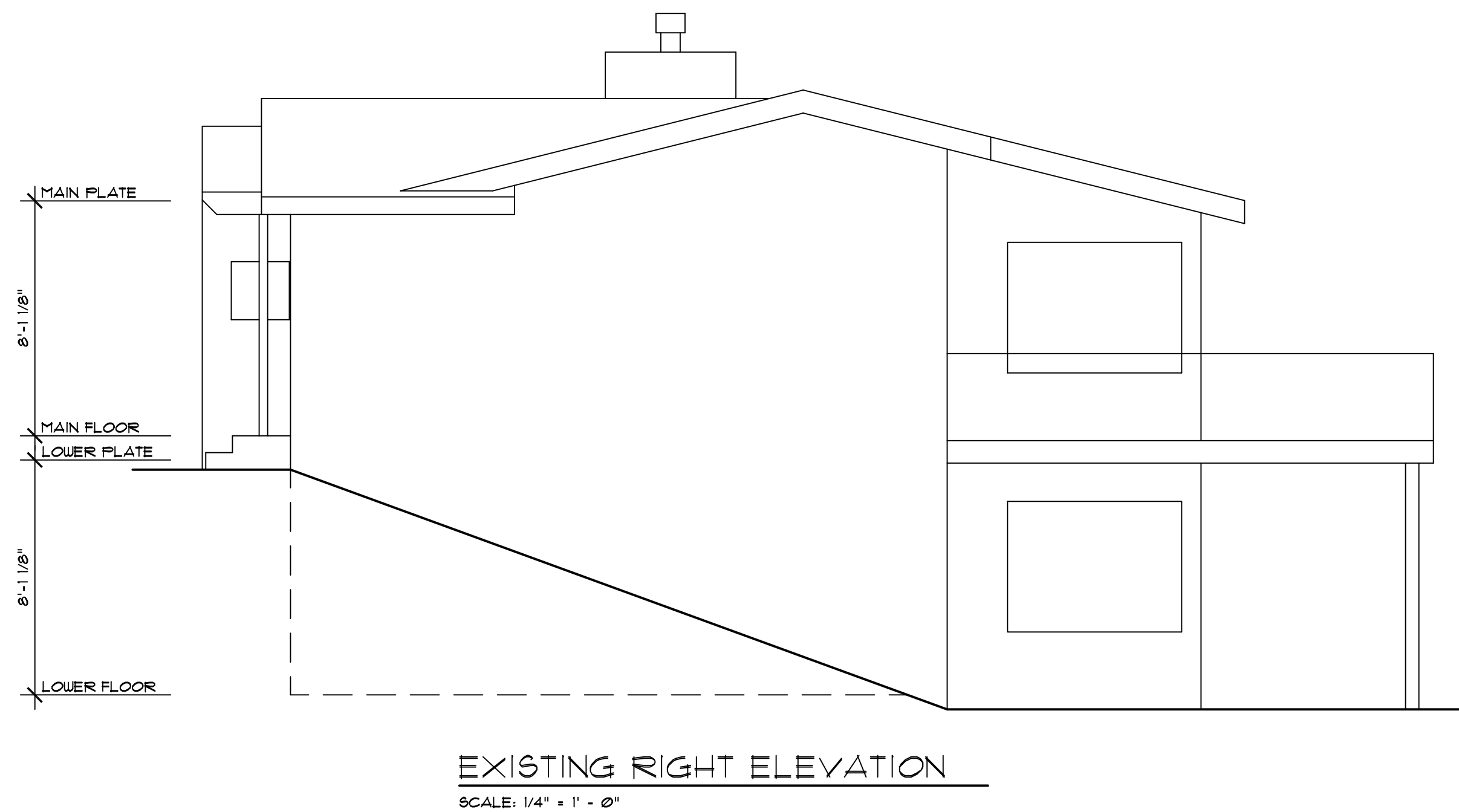
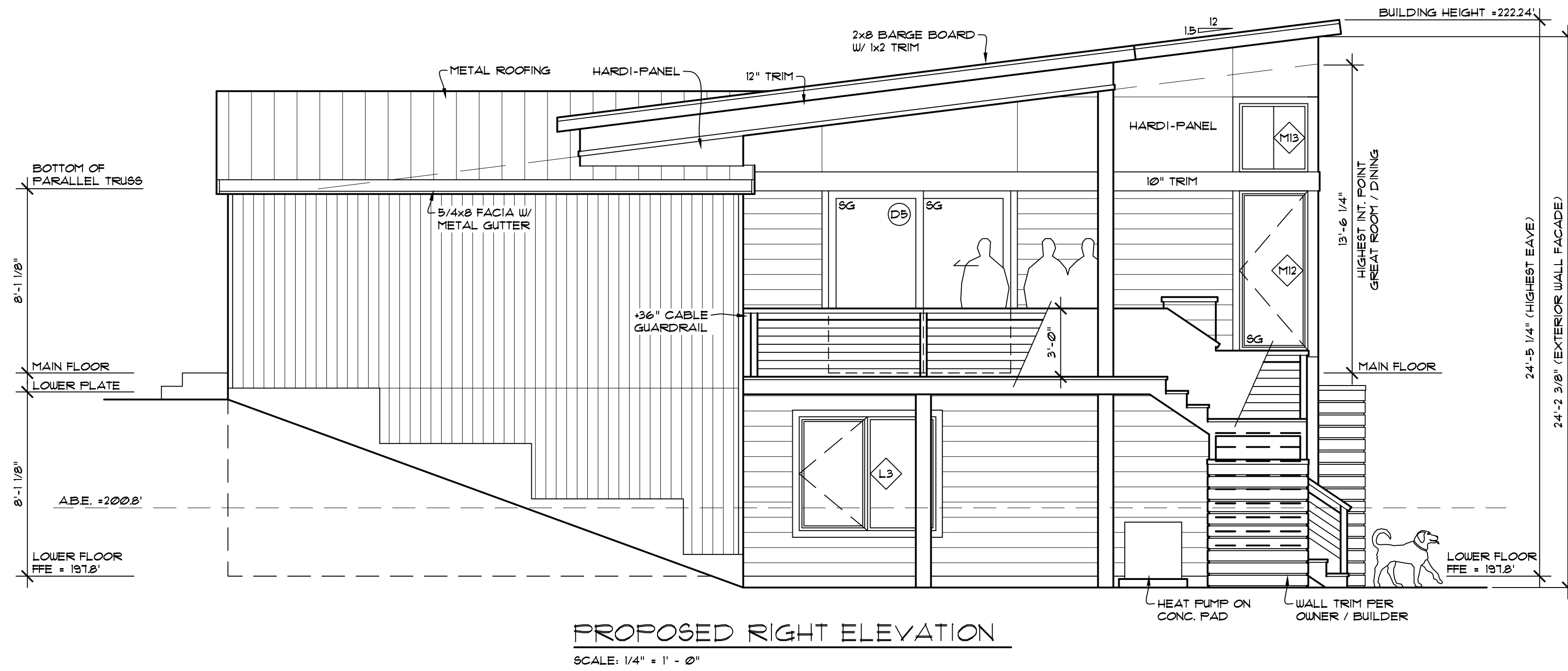
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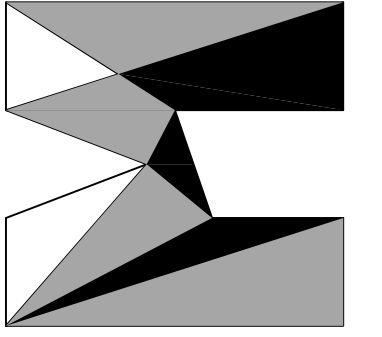
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A12

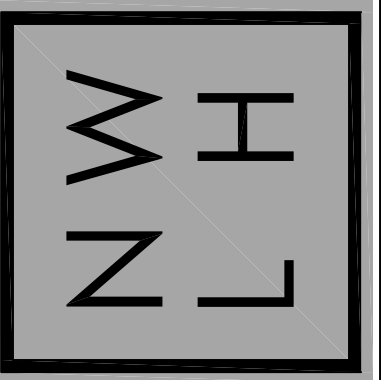
MAXIMUM BUILDING HEIGHT = 23'0" (30' FROM A.B.E.)



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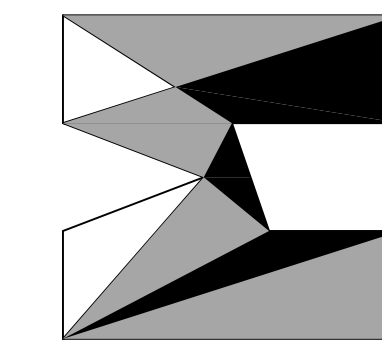


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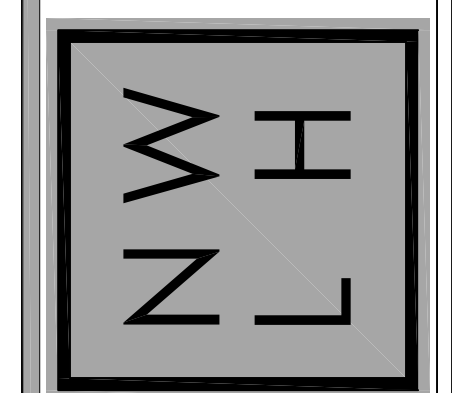
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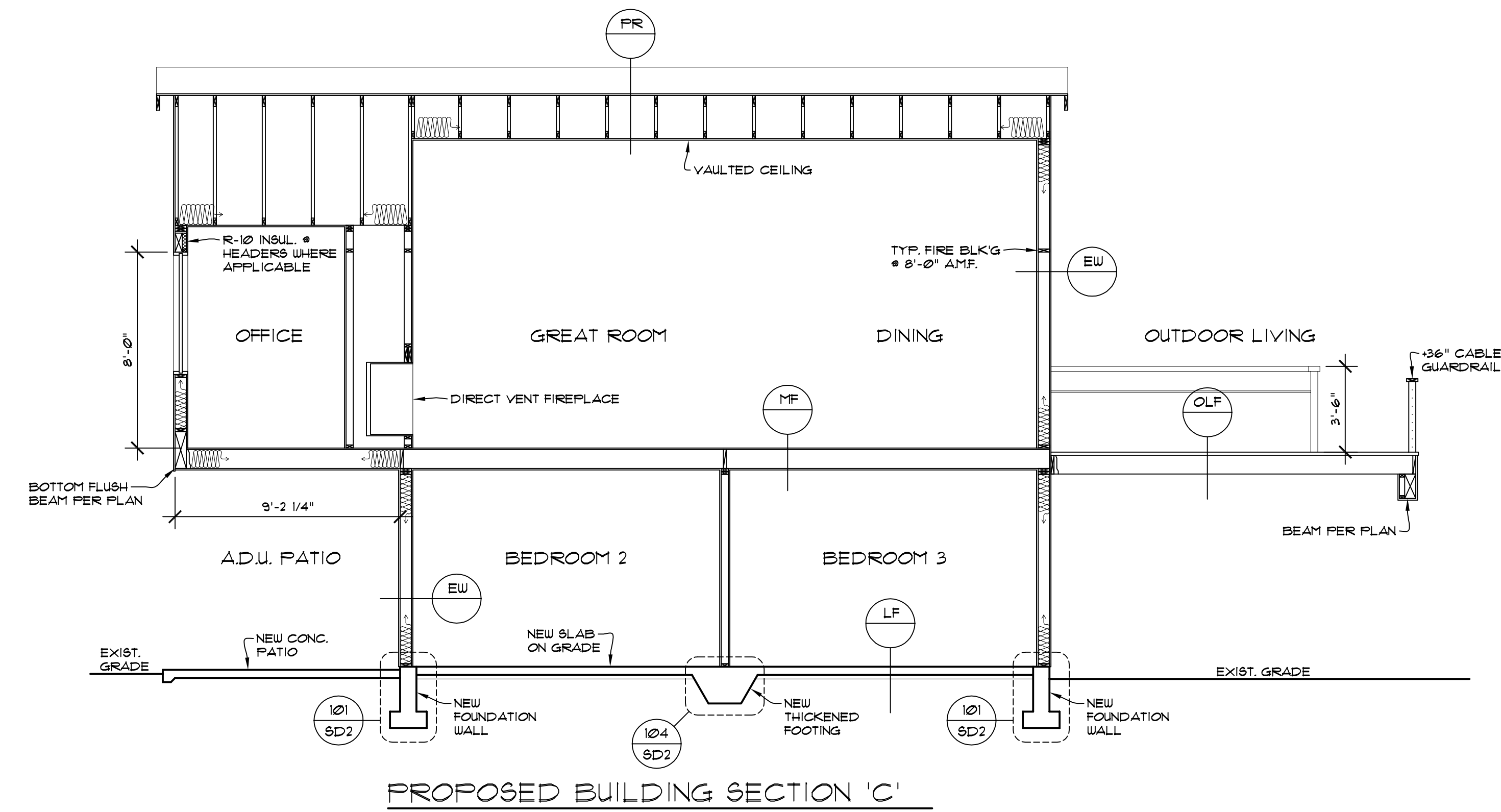
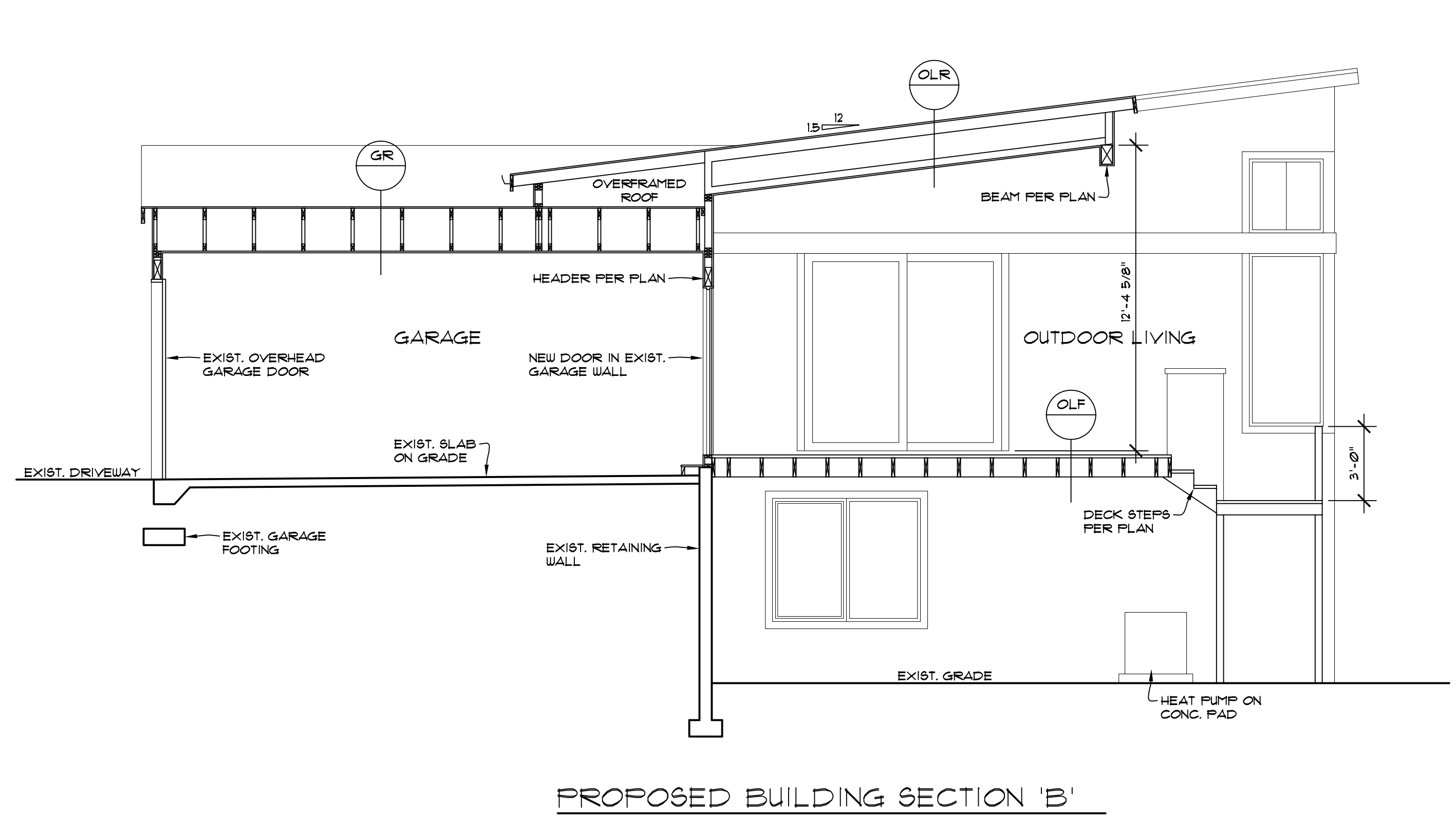
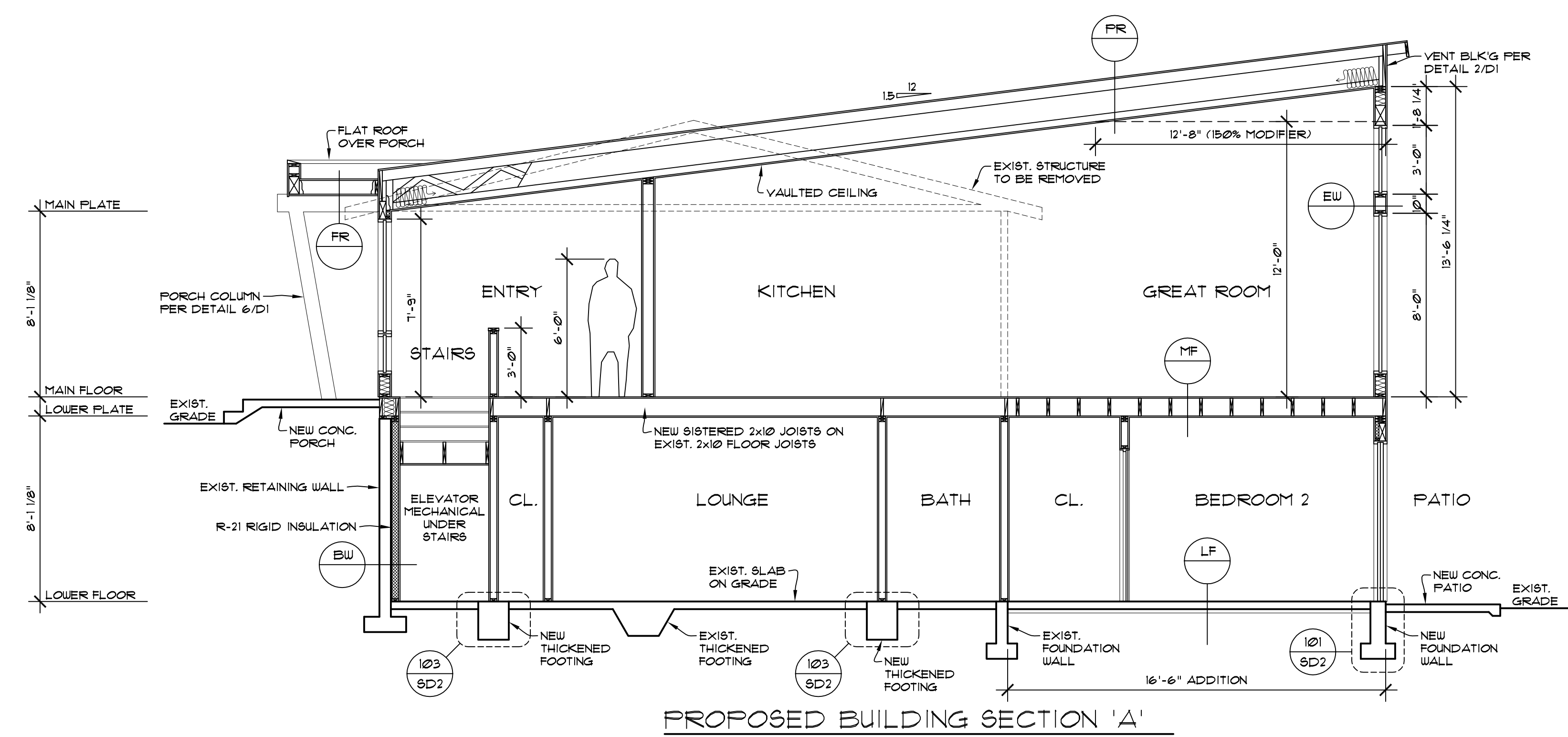
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GENERAL NOTES:

1. ALL FLOOR JOISTS PER PLAN. REFER TO MFG. LAYOUT FOR ALL FRAMING DETAILS AND BLOCKING. REVIEW MFG. LAYOUT PRIOR TO FRAMING. DOUBLE UNDER BEARING PARTITIONS. PROVIDE SOLID BLOCKING OVER BEARING MEMBERS.
2. ALL PRE-MANUFACTURED TRUSSES TO BE IDENTIFIED BY MFG'S STAMP.
3. FACTORY BUILT FIREPLACE & CHIMNEY TO BE UL LABELED INSTALL PER MANUFACTURER'S SPEC'S. 0.5% COMBUSTION AIR REQ'D (MIN 6 SQ IN) DUCTED TO 2" DIA. W/ OPERABLE OVERSIDE DAMPER. TIGHTLY FITTING FLUE DAMPER AND TIGHT FITTING GLASS OR METAL DOORS OR FLUE DRAFT INDUCTION FAN. MINIMUM FIREPLACE EFFICIENCY OF 50% OR GREATER PER USEC R402.4.2.1. PILOT LIGHT SHALL NOT BE CONTINUOUSLY BURNING PER USEC R403.1.3.
4. LIMIT SHOWER FLOW TO 2.5 GALLON/MIN.
5. H.U.T. TO BE LABELED PER ASHRAE STD. NO. 90.4-90. AND MEET THE REQUIREMENTS PER 1981 NATIONAL APPLIANCE ENERGY CONSERVATION ACT.
6. FURNACE AND H.U. TANK, PILOTS, BURNERS, HEATING ELEMENTS, AND SWITCHES TO BE A MIN. OF 18" ABOVE FINISHED FLOOR.
7. ALL SKYLITES TO COMPLY WITH I.R.C. SECTION 2402.1 & 2402.1
8. ALL SIDELITES, SLIDING GLASS DOORS AND TUB/SHOWER ENCLOSURES TO COMPLY WITH I.B.C. SECTION 2406.
9. HEAT REGISTERS TO BE PER LEGEND. LOCATE APPROXIMATELY AS SHOWN, 6" IN FRONT EXTERIOR WALLS, 3" IN FRONT INTERIOR WALLS.
10. VENT DRYER, OVEN/RANGE & EXHAUST FANS TO 0.5% DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMB. HORIZ. AND VERT. LENGTH OF 14'-0", INCL. 2 90° ELBOWS. DUCT 2'-0" FOR EA. 90° ELBOW EXCEEDING 2". SEE DRYER DUCT DTL. FOR ALT. SOLUTIONS. ALL EXHAUST DUCTS INSULATED (MIN. OF R-4).
11. ALL NAILING PER IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.9.1. COLUMN, POST & BEAM CONNECTIONS TO COMPLY WITH I.B.C. SECTION 2316.
12. ---
13. SOLID SHIT' REQ'D ON LOWER STORY OF 2 STORY BUILDING PER I.B.C. DRYWALL NAILED PER SHEAR NAILING SCHEDULES OR IBC 2018 EDITION.
14. TUB/SHOWER SURROUND WALLS TO HAVE WATER RESISTANT GYP BOARD AND A SMOOTH HARD SURFACE TO A MINIMUM HEIGHT OF 10" ABOVE DRAIN NILET
15. PROVIDE SMOKE DETECTOR IN COMPLIANCE WITH I.B.C. AND I.B.C. STD. 436.6. ALL SMOKE DETECTORS W/ BATT. BACKUP. SMOKE DETECTORS WILL SOUND AN AUDIBLE ALARM IN ALL SLEEPING ROOMS.
16. DUELLING TO COMPLY W/ 2018 USEC-R.
17. SEAL, CAULK, GASKET, OR WEATHERSTRIP TO LIMIT AIR LEAKAGE. AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALL AND ROOF AND WALL PANELS, OPENINGS AT UTILITY PENETRATIONS THROUGH WALLS, FLOORS, AND ROOFS, ALL OTHER OPENINGS IN BUILDING ENVELOPE.
18. ALL EXTERIOR DOORS OR ACCESS HATCHES TO ENCLOSED UNHEATED AREAS MUST BE WEATHERSTRIPPED.
19. MINIMUM SOIL BEARING PRESSURE = 1500 PSF.
20. FOOTINGS TO BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL.
21. DUELLING TO COMPLY WITH INTERNATIONAL BUILDING CODE (I.B.C.) 2018
22. FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCL'D DRAFT OPENINGS FROM VERT. TO HORIZ. SPACES, INCLUDING THE STAIR, TUB, SHOWER, FIREPLACE, ETC.

ALL WINDOWS TO HAVE INDIVIDUAL OUTDOOR AIR INLET PORTS PER IMC 4012 & 4021.

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE RESULTS OF THE TEST SHALL BE BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL (R402.4.1.2).

AT LEAST ONE THERMOSTAT PER DUELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

R311.1.3 GEOGRAPHICAL AREAS. APPROVED NATURALLY DURABLE OR PRESSURE-PRESERVATIVE-TREATED WOOD SHALL BE USED FOR THOSE PORTIONS OF WOOD MEMBERS THAT FORM THE STRUCTURAL SUPPORTS OF BUILDINGS, BALCONIES, PORCHES OR SIMILAR BUILDING AFFURANENCES WHEN THOSE MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS. DEPENDING ON LOCAL EXPERIENCE, SUCH MEMBERS MAY INCLUDE:

1. HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS AND DECKING.
2. VERTICAL MEMBERS SUCH AS POSTS, POLES AND COLUMNS.
3. BOTH HORIZONTAL AND VERTICAL MEMBERS.

R303.1 STAIRWAY ILLUMINATION. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE (1 LUX) MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY.

SOURCE SPECIFIC VENTILATION REQUIREMENTS:

BATHROOMS, LAUNDRY ROOMS AND POWDER ROOM FANS TO BE 50 CFM. KITCHEN EXHAUST FANS TO BE 100 CFM UNO. EXHAUST FANS SHALL BE FLOW RATED AT 25 W.G. STATIC PRESSURE

EXHAUST DUCTS SHALL BE INSULATED TO R-4 IN UNCONDITIONED SPACE BE EQUIPPED WITH A BACKDRAFT DAMPER TERMINATE OUTSIDE THE BUILDING PER SRC M1501I COMPLY WITH BELOW:

FAN CFM	MAX. FLEX DIA.	MAX. FT.	MAX. SMOOTH DIA.	MAX. FT.
50	4"	25'	4"	70'
50	5"	50'	5"	100'
50	6"	OVER 100'	6"	OVER 100'
80	4"	N/A	4"	20'
80	5"	15'	5"	100'
80	6"	50'	6"	OVER 100'
100	5"	N/A	5"	50'
100	6"	45'	6"	OVER 100'
125	6"	15'	6"	OVER 100'
125	7"	70'	7"	OVER 100'

STAIRWAYS - 2018 IRC SECTION 311.7

R311.1.1 WIDTH - STAIRWAYS SHALL BE NOT LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31-1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 21" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES. EXCEPTION: THE WIDTH OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.01.

R311.1.2 HEADROOM - THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. EXCEPTION: 1. WHERE THE NOSINGS OF TREADS AT THE SIDE OF A FLIGHT EXTEND UNDER THE EDGE OF A FLOOR OPENING THROUGH WHICH THE STAIR PASSES, THE FLOOR OPENING SHALL BE ALLOWED TO PROJECT HORIZONTALLY INTO THE REQUIRED HEADROOM NOT MORE THAN 4'-3/4". 2. THE HEADROOM FOR SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.01.

R311.1.3 VERTICAL RISE - A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 15" BETWEEN FLOOR LEVELS OR LANDINGS.

R311.1.5 STAIR TREADS AND RISERS - STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION FOR THE PURPOSES OF THIS SECTION. DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RUNNERS.

R311.1.5.1 RISERS - THE RISER HEIGHT SHALL BE NOT MORE THAN 7-3/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30" AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. EXCEPTIONS: 1. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON SPIRAL STAIRS. 2. THE RISER HEIGHT OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.7.01.

R311.1.5.2 TREADS - THE TREAD DEPTH SHALL BE NOT LESS THAN 10". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

R311.1.5.3 NOSINGS - NOSINGS AT TREADS, LANDINGS, AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSINGS NOT GREATER 9/16" OR A BEVEL NOT GREATER THAN 1/2". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" WITHIN A STAIRWAY. EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11".

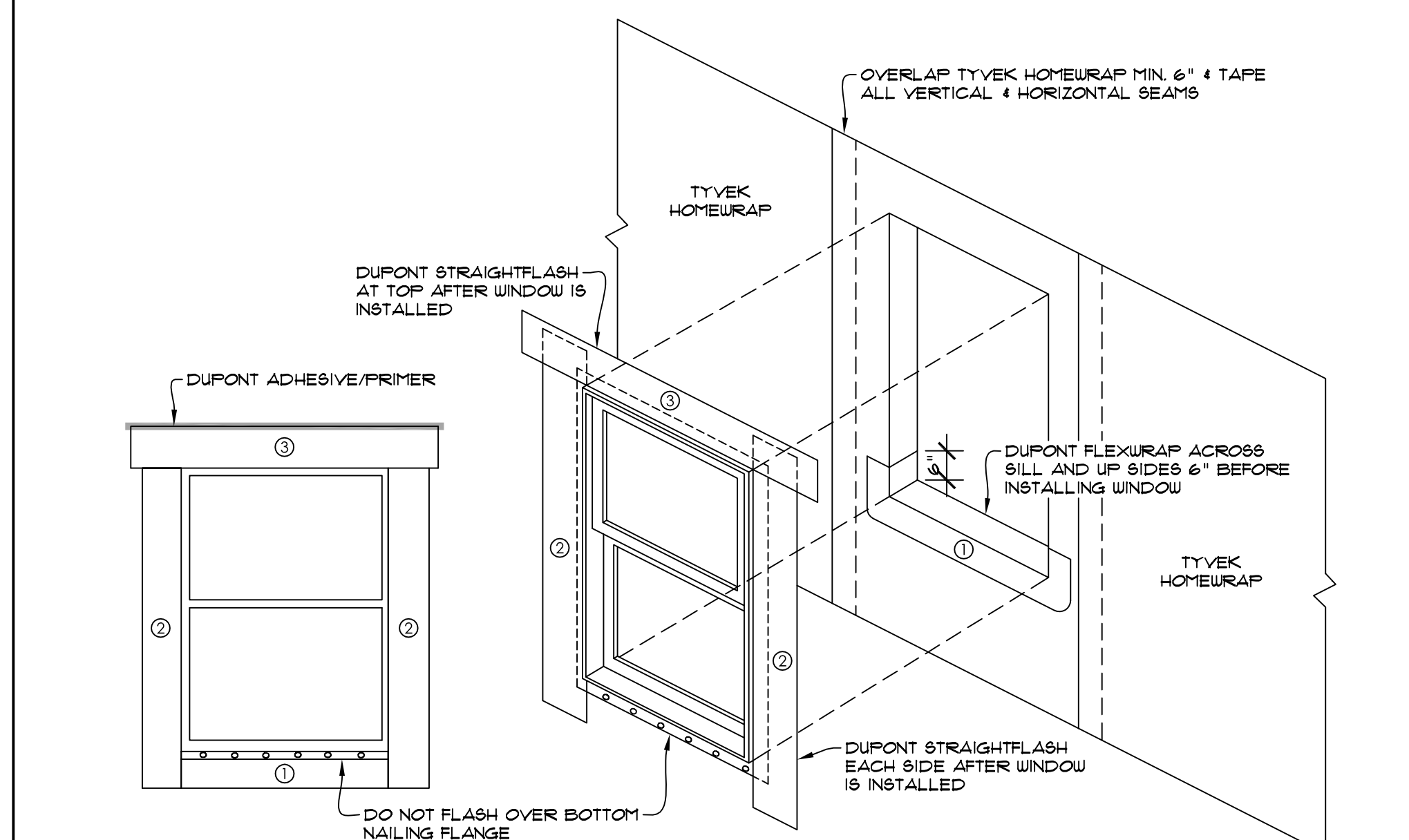
R311.1.6 LANDINGS FOR STAIRWAYS - THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. LANDINGS OF SQUARES OTHER THAN SQUARE OR RECTANGULAR SHALL BE PERMITTED PROVIDED THAT THE DEPTH AT THE WALK LINE AND THE TOTAL AREA IS NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH WHERE THE STAIRWAY HAS A STRAIGHT RUN. THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36".

NOTE: ALL UNDERGROUND PLUMBING LOCATIONS TO BE FIELD VERIFIED PRIOR TO FOUNDATION INSTALLATION.

NOTE: CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS AND RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL, ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301.5.

NOTE: PER R302.11 FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FLANGED WINDOW FLASHING INSTALLATION AFTER TYVEK HOMEWRAP (OR EQUIVALENT)



NOTE: INSTALL DUPONT FLASHING IN ORDER SHOWN BY NUMBERS. INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.

PER PERSCRIPTIVE REQUIREMENTS 2018 W.S.E.C. (MODIFIED FOR ENERGY CREDIT 13)

CLIMATE ZONE 5B
MAX. GLAZING U-FACTOR, VERT. U+28; OVER-HEAD U+50
MAX. DOOR U-FACTOR, U+20
INSULATION @ CONDITIONED AREAS:
TRUSSED CEILING: R-49
VALUED & SINGLE RAFTER CEILING: R-38 (R402.2.2)
ABOVE GRADE WALLS: R-21
BELOW GRADE WALLS: R-21
FLOOR OVER VENTED CRAWL SPACE: R-38*
SLAB ON GRADE: R-10 @ PERIMETER & UNDER ENTIRE SLAB.

PERCENT GLAZING 41/4 (8% GLAZING AREA) +13%
CALCULATIONS: 2371 (8% FLOOR AREA)

PRESCRIPTIVE ENERGY CODE COMPLIANCE FOR ALL CLIMATE ZONES IN WASHINGTON PER 2018 USEC.

MEDIUM DUELLING UNIT: 6 CREDITS

HEATING OPTION 2 - HEAT PUMP (10 CREDITS)

ENERGY OPTIONS:

13 - EFFICIENT BUILDING ENVELOPE (05 CREDITS):
VERTICAL PENETRATION U+ 0.28
FLOOR R-38
SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB
BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB

22 - AIR LEAKAGE CONTROL & EFFICIENT VENTILATION (10 CREDITS):
REDUCE THE TESTED AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAXIMUM AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1501.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HIGH RECOVERY VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.65

33 - HIGH EFFICIENCY HVAC EQUIPMENT (15 CREDITS):
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEAA'S ADVANCED WATER HEATING SPECIFICATIONS

55 - EFFICIENT WATER HEATING (20 CREDITS):
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEAA'S ADVANCED WATER HEATING SPECIFICATIONS

WHOLE HOUSE MECHANICAL VENTILATION SYSTEM (WITH WASHINGTON STATE AMENDMENTS)

WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.

M1505.4.1 SYSTEM DESIGN. THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE AS SUCH A SYSTEM. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION.

M1505.4.2 SYSTEM CONTROLS. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE. CONTROLS SHALL INCLUDE TEXT OR A SYMBOL INDICATING THEIR FUNCTION.

M1505.4.3 MECHANICAL VENTILATION RATE. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(1) OR NOT LESS THAN THAT DETERMINED BY EQUATION 15-1.

EXCEPTIONS: EQUATION 15-1

1. VENTILATION RATE CREDIT. THE MINIMUM MECHANICAL VENTILATION RATE DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(1) OR EQUATION 15-1 SHALL BE REDUCED BY 30 PERCENT, PROVIDED THAT BOTH OF THE FOLLOWING CONDITIONS APPLY:
11. A DUCTED SYSTEM SUPPLIES VENTILATION AIR DIRECTLY TO EACH BEDROOM AND TO ONE OR MORE OF THE FOLLOWING ROOMS:
111. LIVING ROOM.
112. DINING ROOM.
113. KITCHEN.

12. THE WHOLE-HOUSE VENTILATION SYSTEM IS A BALANCED VENTILATION SYSTEM.

2. PROGRAMMED INTERMITTENT OPERATION. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25 PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1505.4.3(1), BY EQUATION 15-1 OR BY EXCEPTION 1 IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(2).

DUELLING UNIT FLOOR AREA (SQUARE FEET)	TABLE M1505.4.3(1) CONTINUOUS WHOLE HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS				
	NUMBER OF BEDROOMS				
	0-1	2	3	4	5 OR MORE
< 500	30	30	35	45	50
501-1000	30	35	40	50	55
1001-1500	30	40	45	55	60
1501-2000	35	45	50	60	65
2001-2500	40	50	55	65	70
2501-3000	45	55	60	70	75
3001-3500	50	60	65	75	80
3501-4000	55	65	70	80	85
4001-4500	60	70	75	85	90
4501-5000	65	75	80	90	95

TABLE M1505.4.3(2) SYSTEM COEFFICIENT C _{system}		
SYSTEM TYPE	DISTRIBUTED	NOT DISTRIBUTED
BALANCED	1.0	1.25
NOT BALANCED	1.25	1.5

TABLE M1505.4.3(3) INTERMITTENT WHOLE HOUSE MECHANICAL VENTILATION RATE FACTORS 0.5				
RUN TIME PERCENTAGE IN EACH 4-HOUR SEGMENT	50%	66%	75%	100%
FACTOR	2	1.5	1.3	1.0

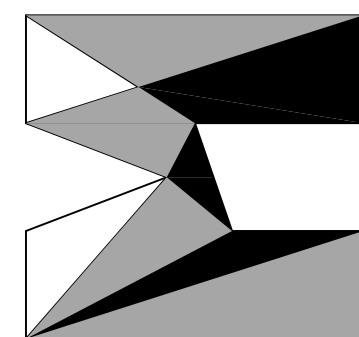
a. FOR VENTILATION SYSTEM RUN TIME VALUES BETWEEN THOSE GIVEN, THE FACTORS ARE PERMITTED TO BE DETERMINED BY INTERPOLATION.
b. EXTRAPOLATION BEYOND THE TABLE IS PROHIBITED.

M1505.4.4 LOCAL EXHAUST RATES. LOCAL EXHAUST SYSTEMS SHALL BE DESIGNED TO HAVE THE CAPACITY TO EXHAUST THE MINIMUM AIRFLOW RATE DETERMINED IN ACCORDANCE WITH TABLE M1505.4.4.

TABLE M1505.4.4 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO FAMILY DUELLING UNITS	
AREA TO BE EXHAUSTED	EXHAUST RATES ^a
KITCHENS	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
BATHROOMS TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

a. THE LISTED EXHAUST RATE FOR BATHROOMS-TOILET ROOMS SHALL BE EQUAL OR EXCEED THE EXHAUST RATE AT A MINIMUM STATIC PRESSURE OF 0.25 INCH WATER COLUMN IN ACCORDANCE WITH SECTION M1505.3.

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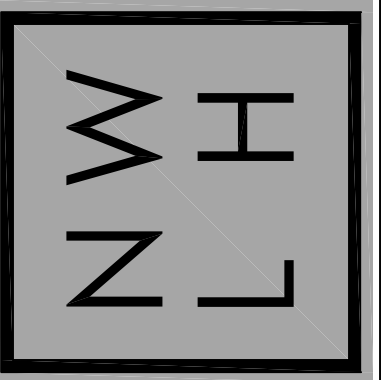
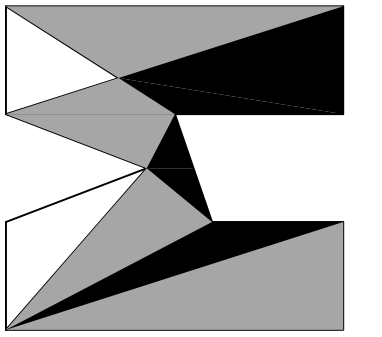
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DATE: 4/9/24
DRW. BY: MM, MG
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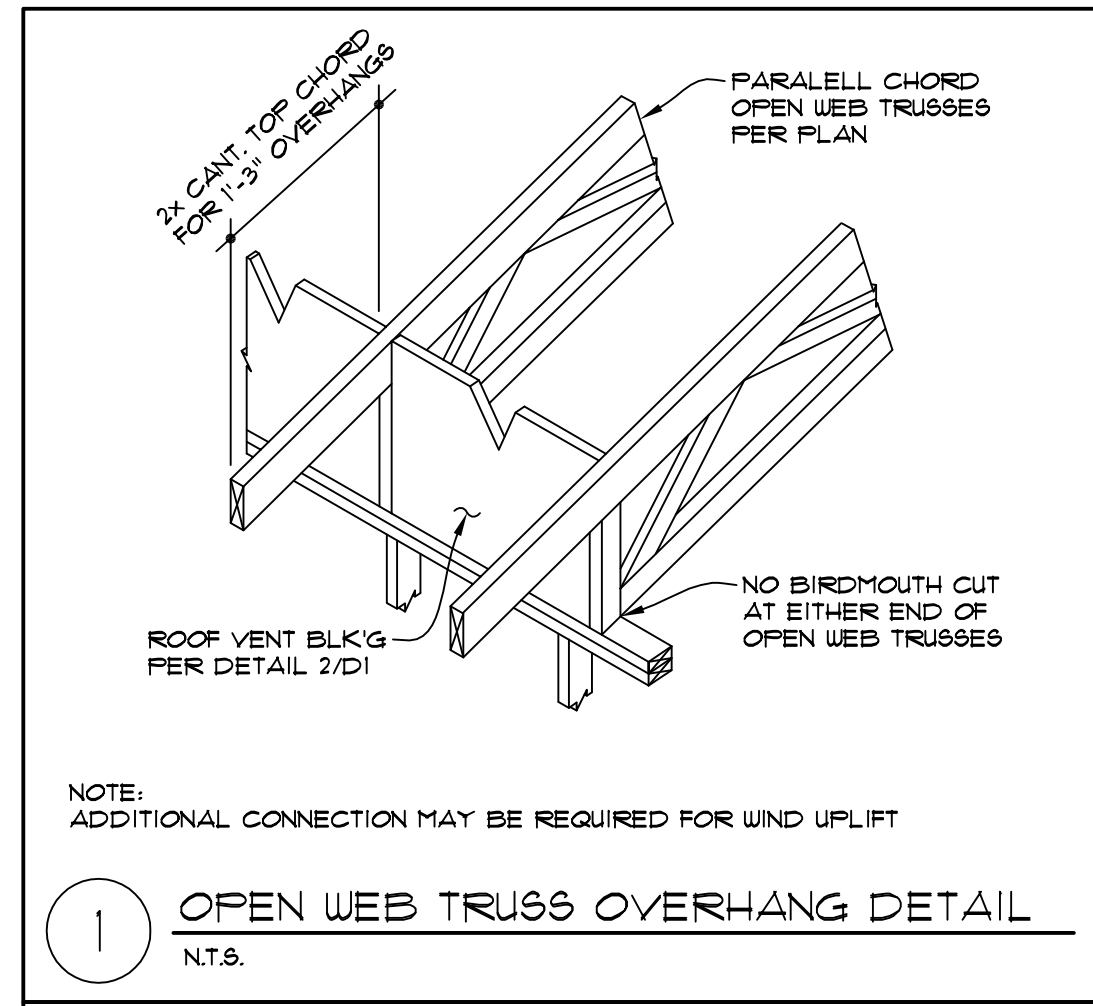
SHEET NO.

A15

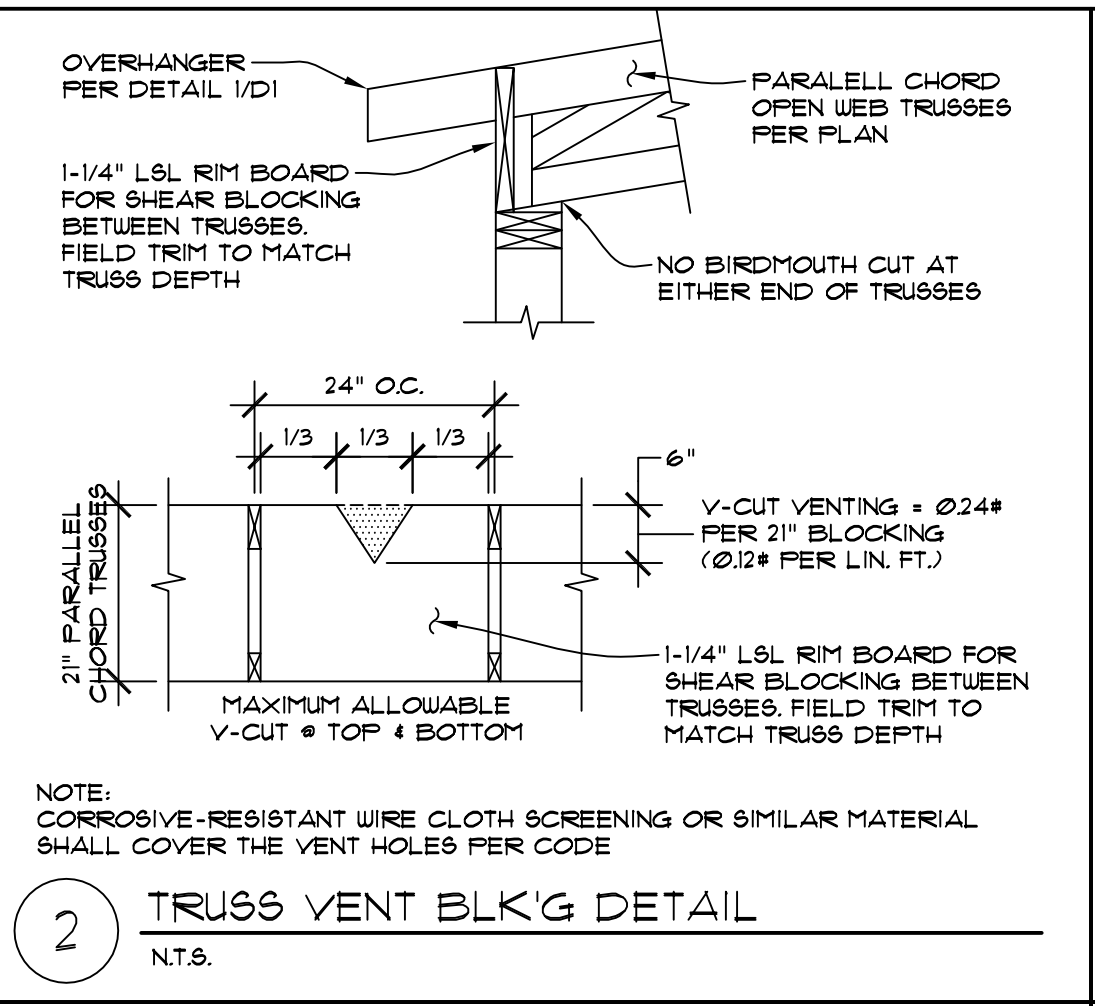
WINDOW SCHEDULE			
<p>LI</p> <p>BEDROOM 4 HDR. HT. 1'-0"</p>	<p>M16</p> <p>OFFICE HDR. HT. 8'-0"</p>	<p>M14</p> <p>MUD ROOM HDR. HT. 6'-10"</p>	
<p>L2</p> <p>ADJ. HDR. HT. 1'-0"</p>	<p>M1</p> <p>OFFICE HDR. HT. 8'-0"</p>	<p>M15</p> <p>MUD ROOM HDR. HT. 6'-10"</p>	
<p>L3</p> <p>LOUNGE HDR. HT. 1'-0"</p>	<p>M8</p> <p>GREAT ROOM HDR. HT. 8'-0"</p>	<p>SG = SAFETY GLASS E = EGRESS WINDOW OBSC. = OBSCURED GLASS U-FACTOR FOR ALL WINDOWS = 0.28 U-FACTOR FOR DOORS = 0.20</p>	
<p>M</p> <p>STAIRS HDR. HT. 1'-9"</p>	<p>M9</p> <p>GREAT ROOM HDR. HT. 11'-10"</p>	<p>M10</p> <p>DINING HDR. HT. 8'-0"</p>	
<p>M2</p> <p>P. BATH HDR. HT. 1'-9"</p>	<p>M11</p> <p>DINING HDR. HT. 11'-10"</p>	<p>M12</p> <p>DINING HDR. HT. 8'-0"</p>	
<p>M3</p> <p>P. BATH HDR. HT. 1'-9"</p>	<p>M13</p> <p>DINING HDR. HT. 11'-10"</p>		
<p>M4</p> <p>P. SUITE HDR. HT. 8'-0"</p>			
<p>M5</p> <p>P. SUITE HDR. HT. 8'-0"</p>			

DOOR SCHEDULE	
<p>D1</p> <p>ADJ.</p>	
<p>D2</p> <p>BEDROOM 2</p>	
<p>D3</p> <p>BEDROOM 3</p>	
<p>D4</p> <p>ENTRY</p>	
<p>D5</p> <p>DINING</p>	
<p>D6</p> <p>DINING</p>	

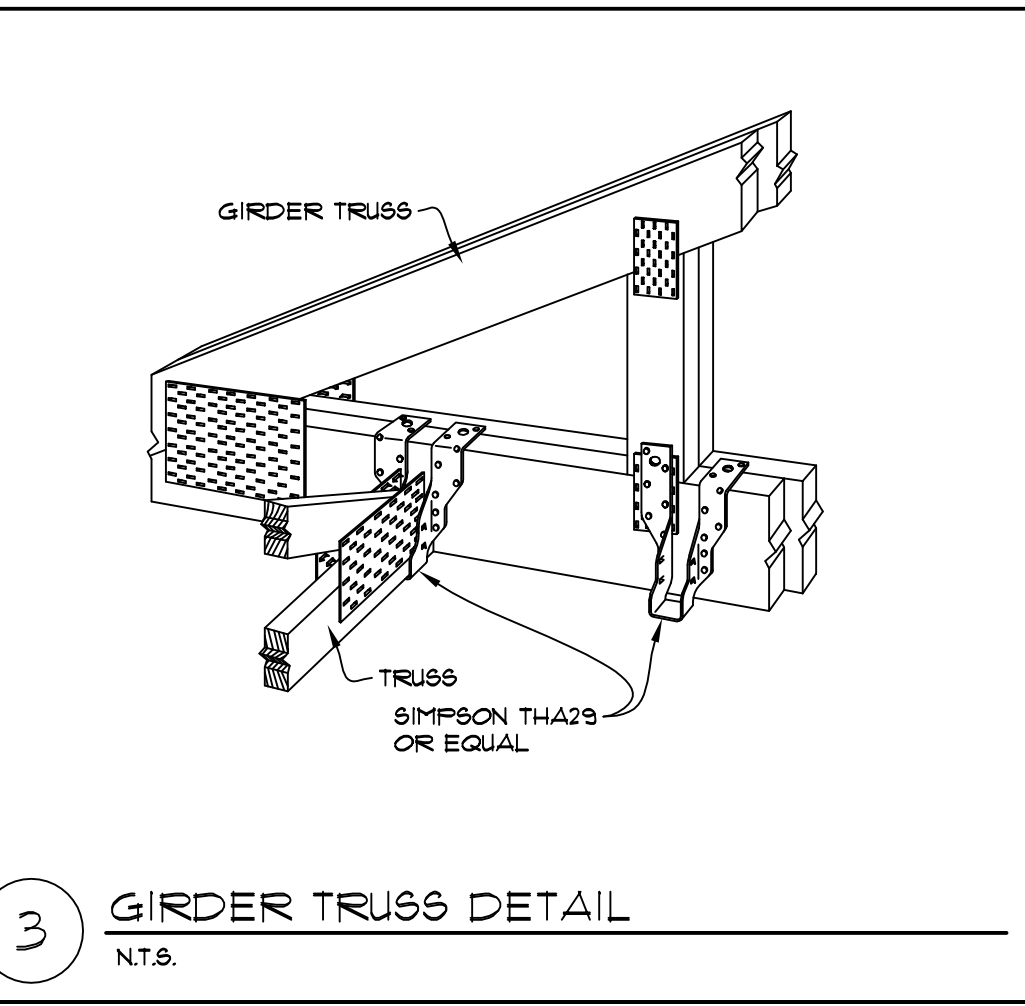




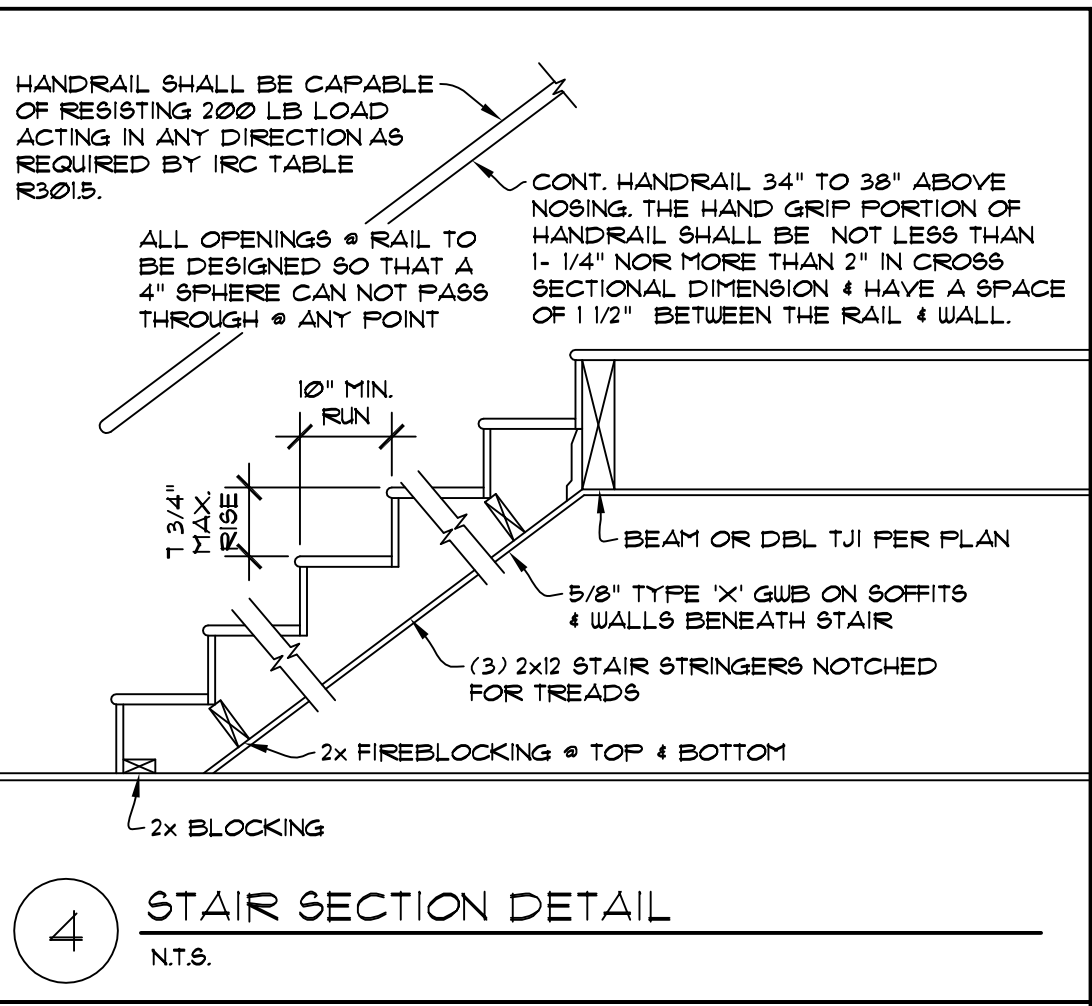
1 OPEN WEB TRUSS OVERHANG DETAIL
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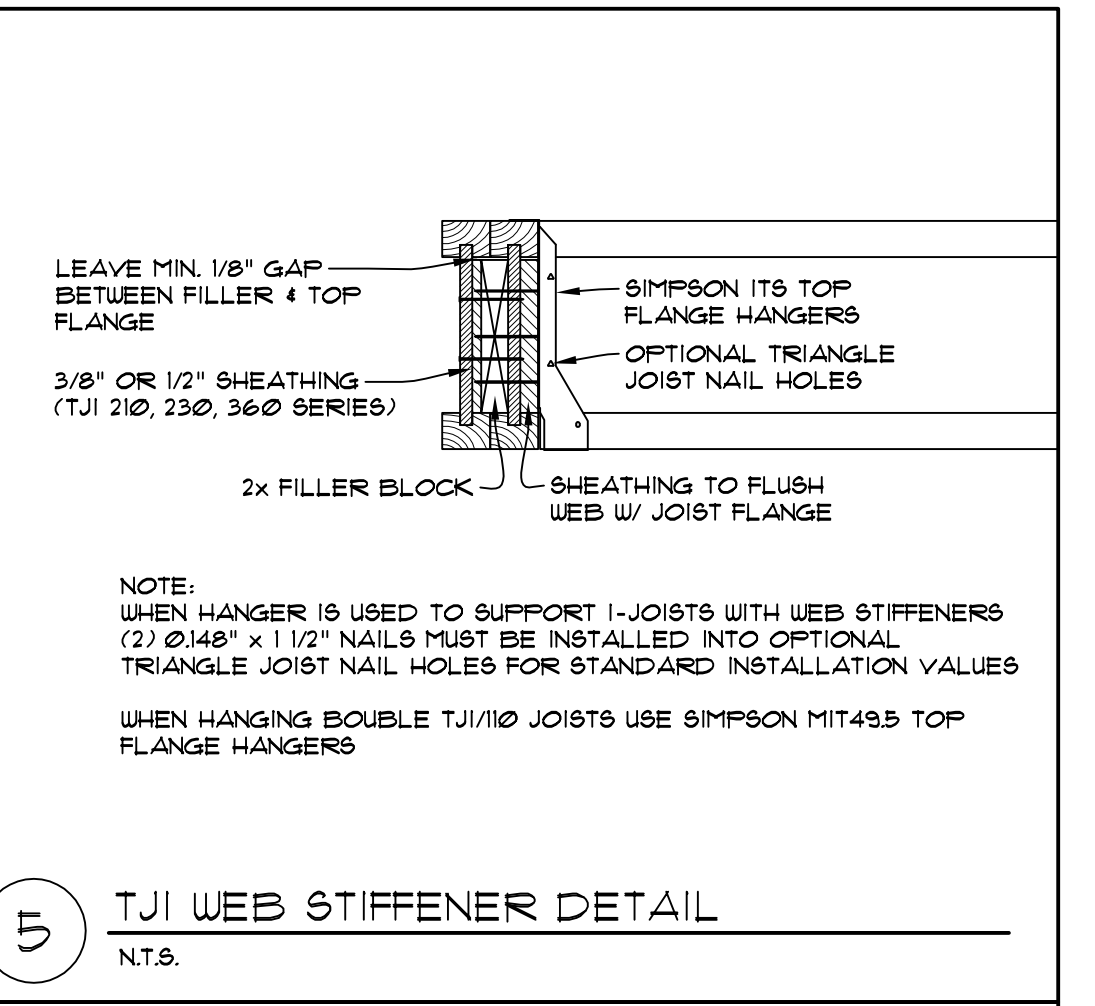
2 TRUSS VENT BLKG DETAIL
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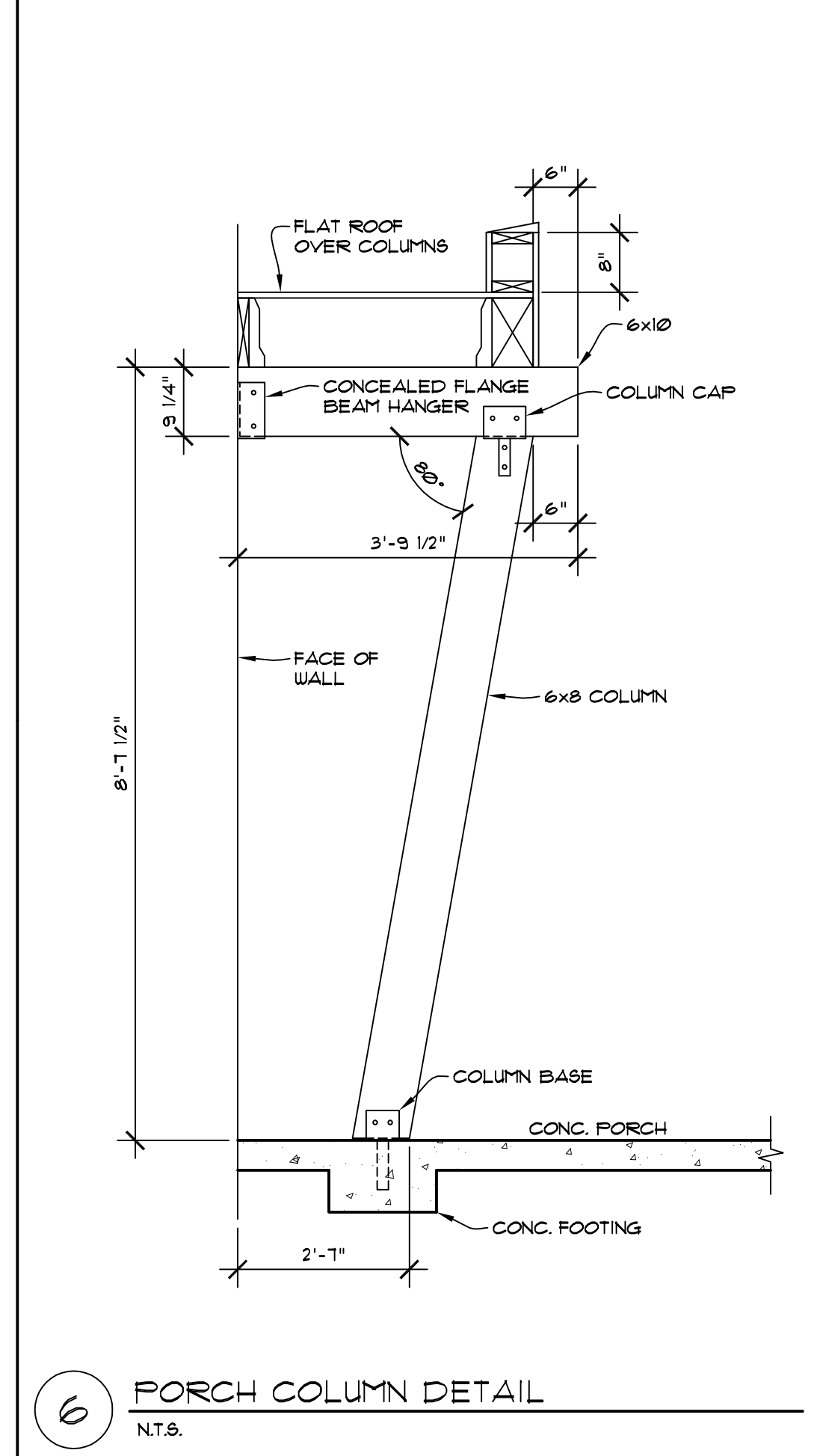
3 GIRDER TRUSS DETAIL
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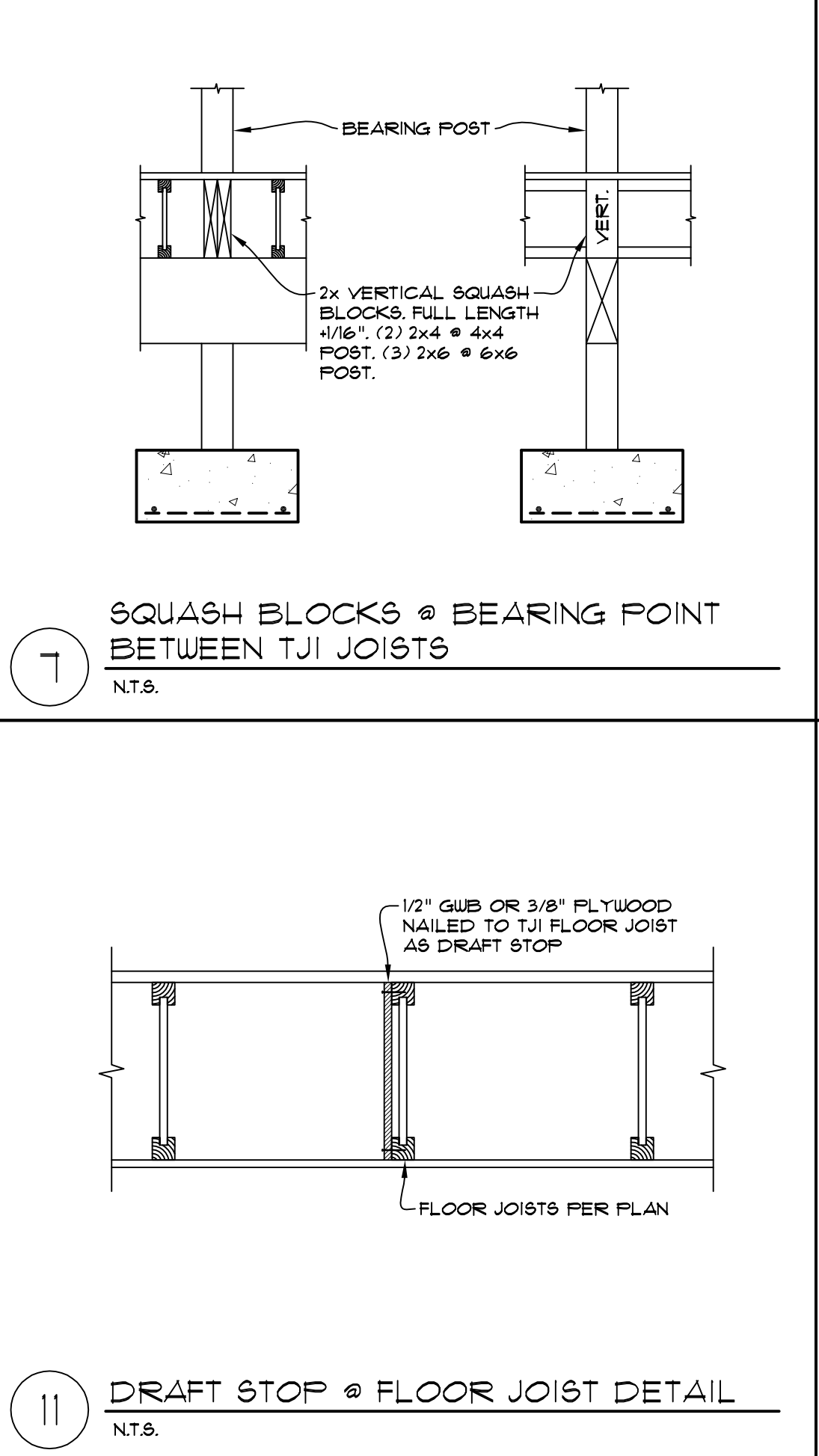
4 STAIR SECTION DETAIL
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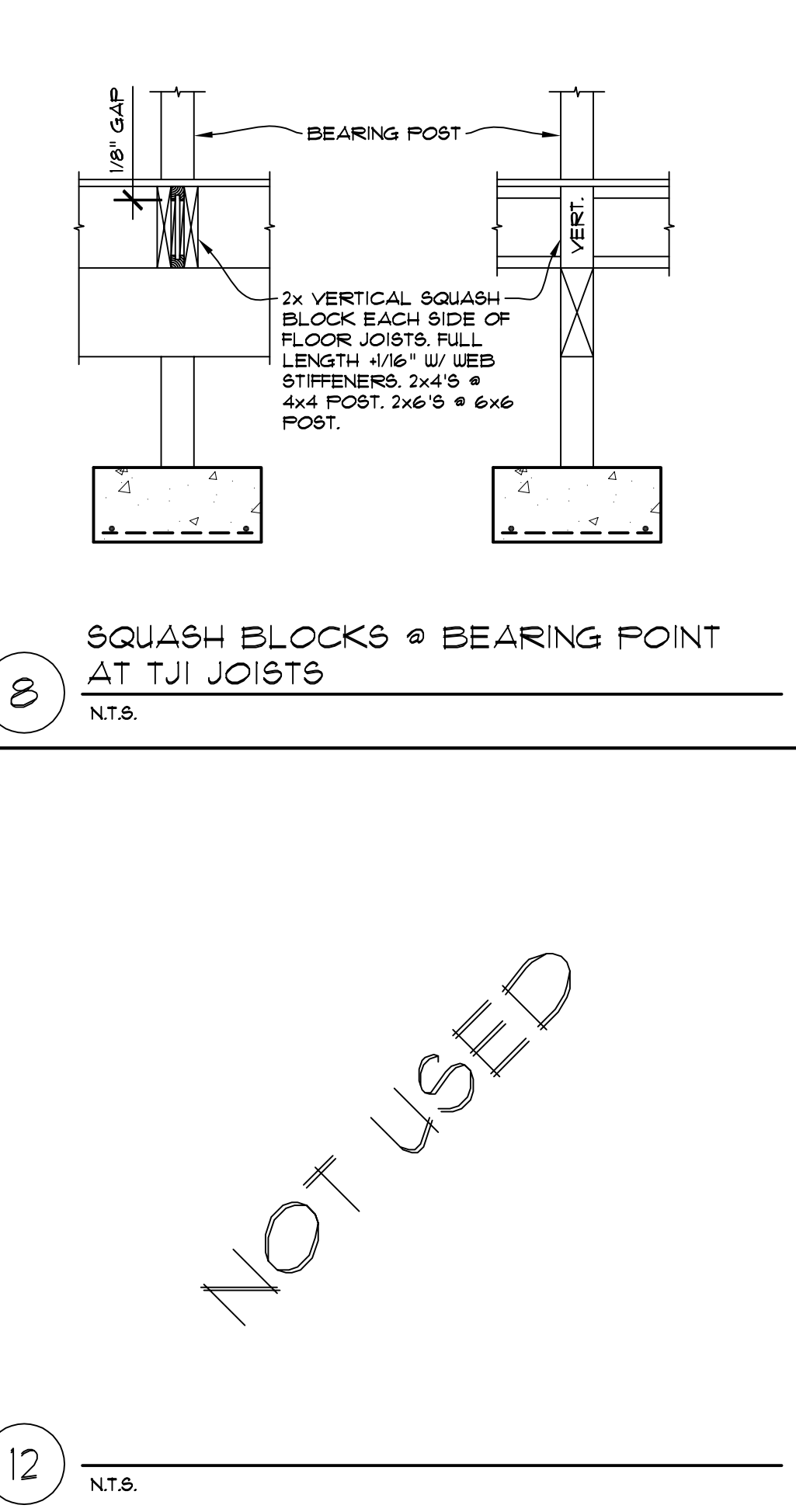
5 TJI WEB STIFFENER DETAIL
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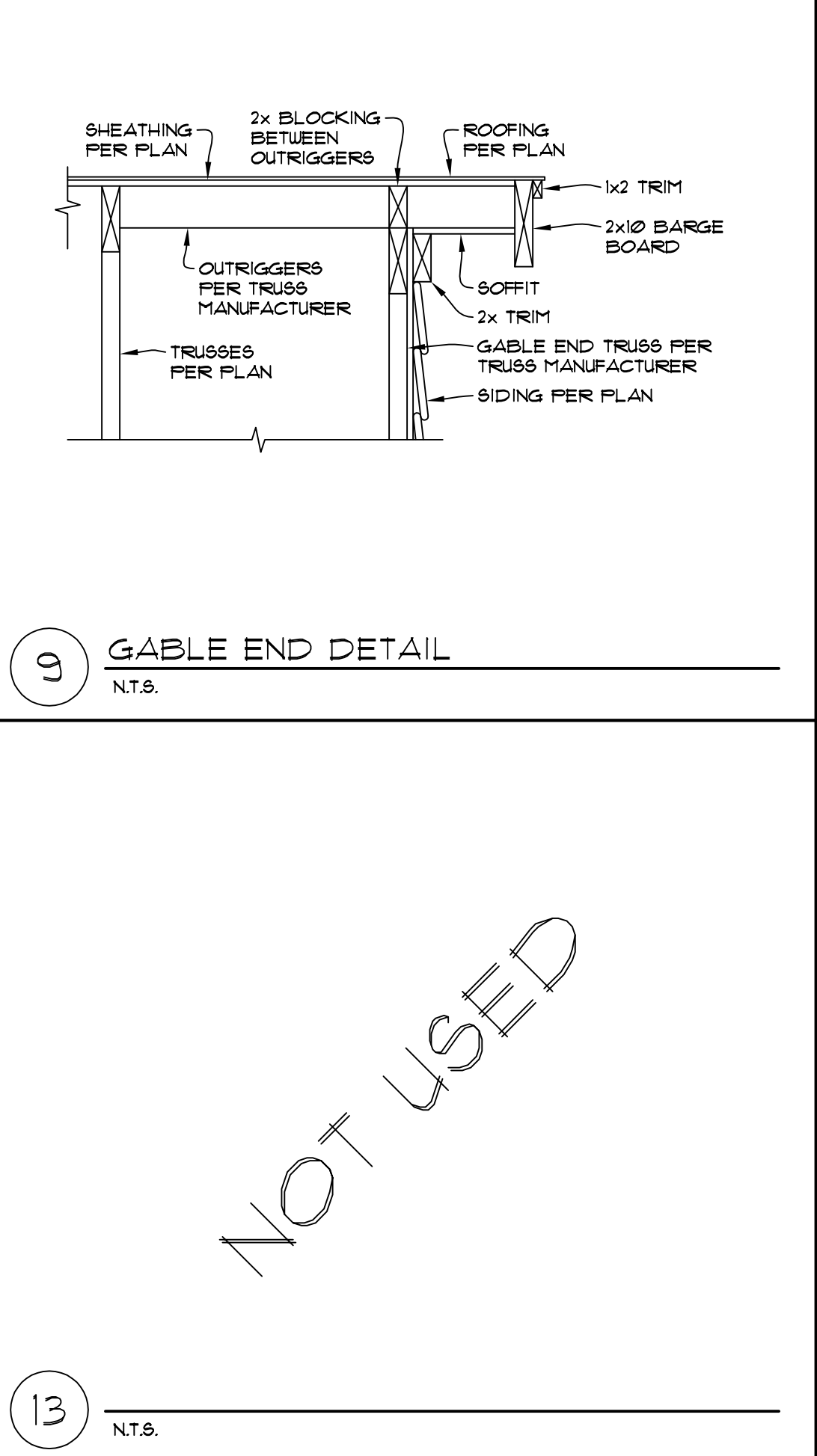
6 PORCH COLUMN DETAIL
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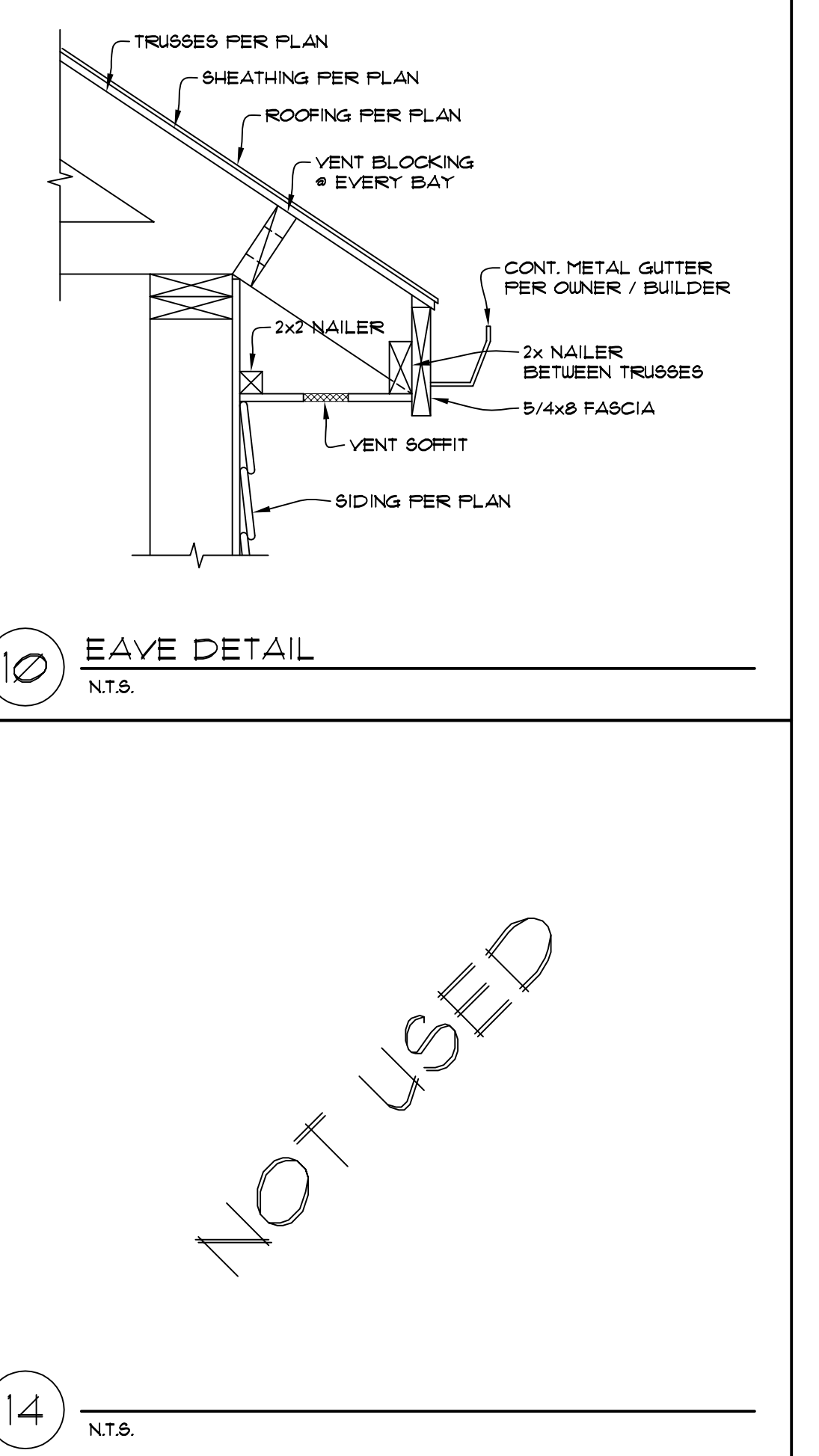
7 SQUASH BLOCKS @ BEARING POINT BETWEEN TJI JOISTS
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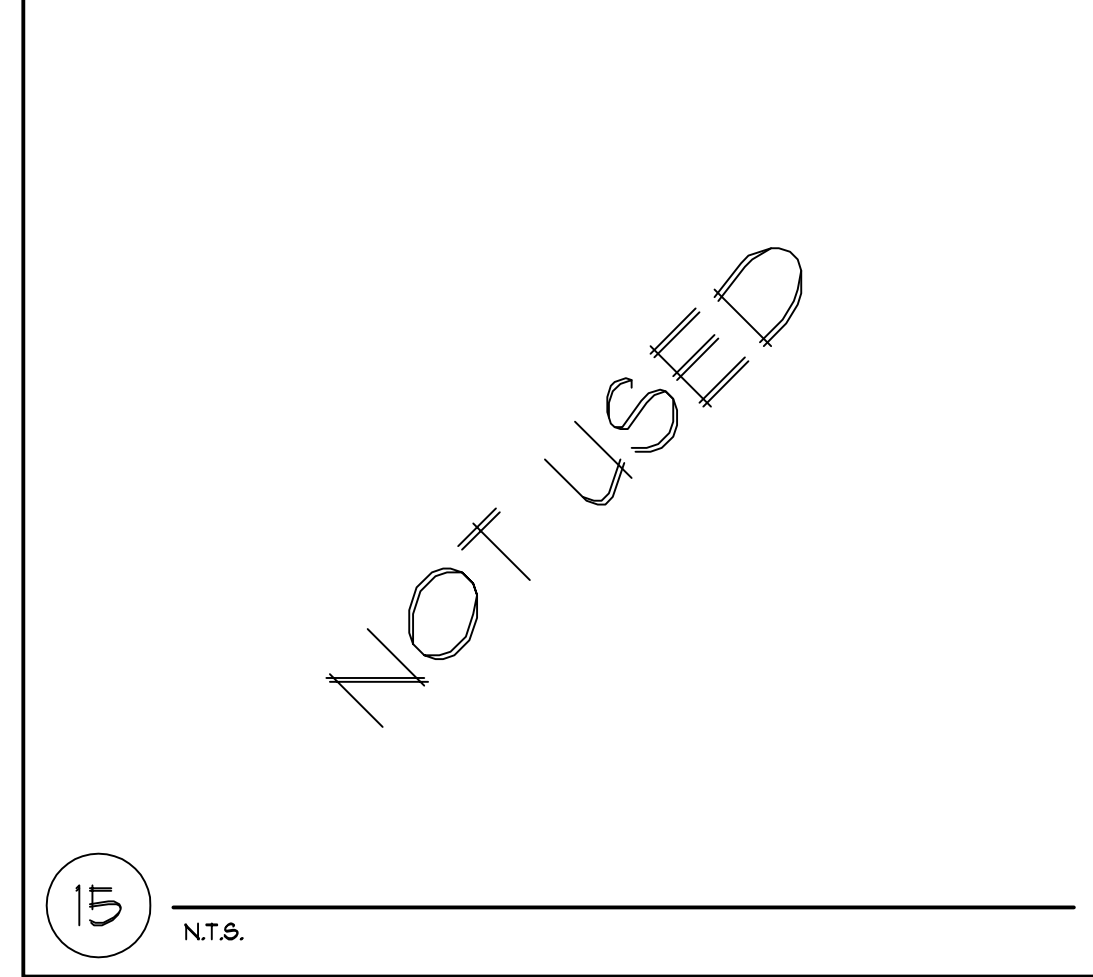
8 SQUASH BLOCKS @ BEARING POINT AT TJI JOISTS
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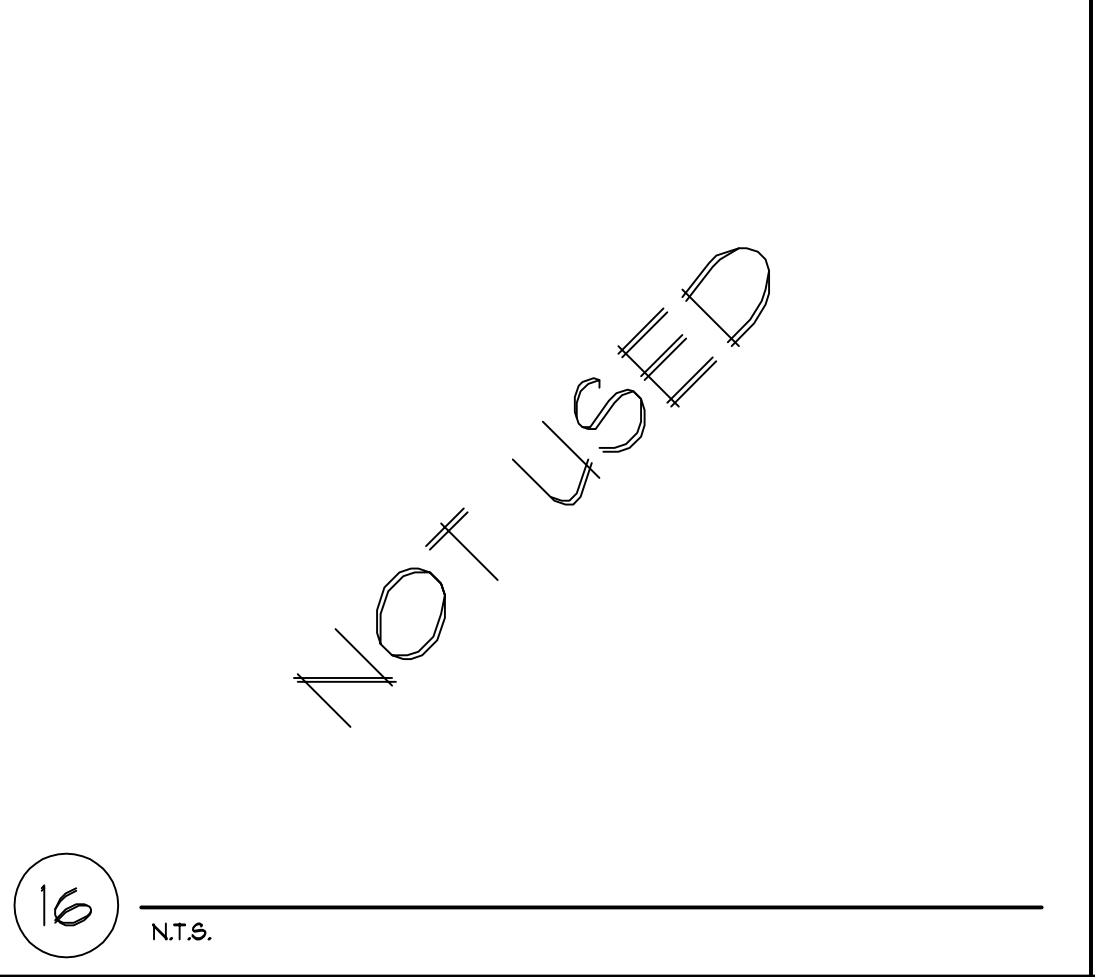
9 GABLE END DETAIL
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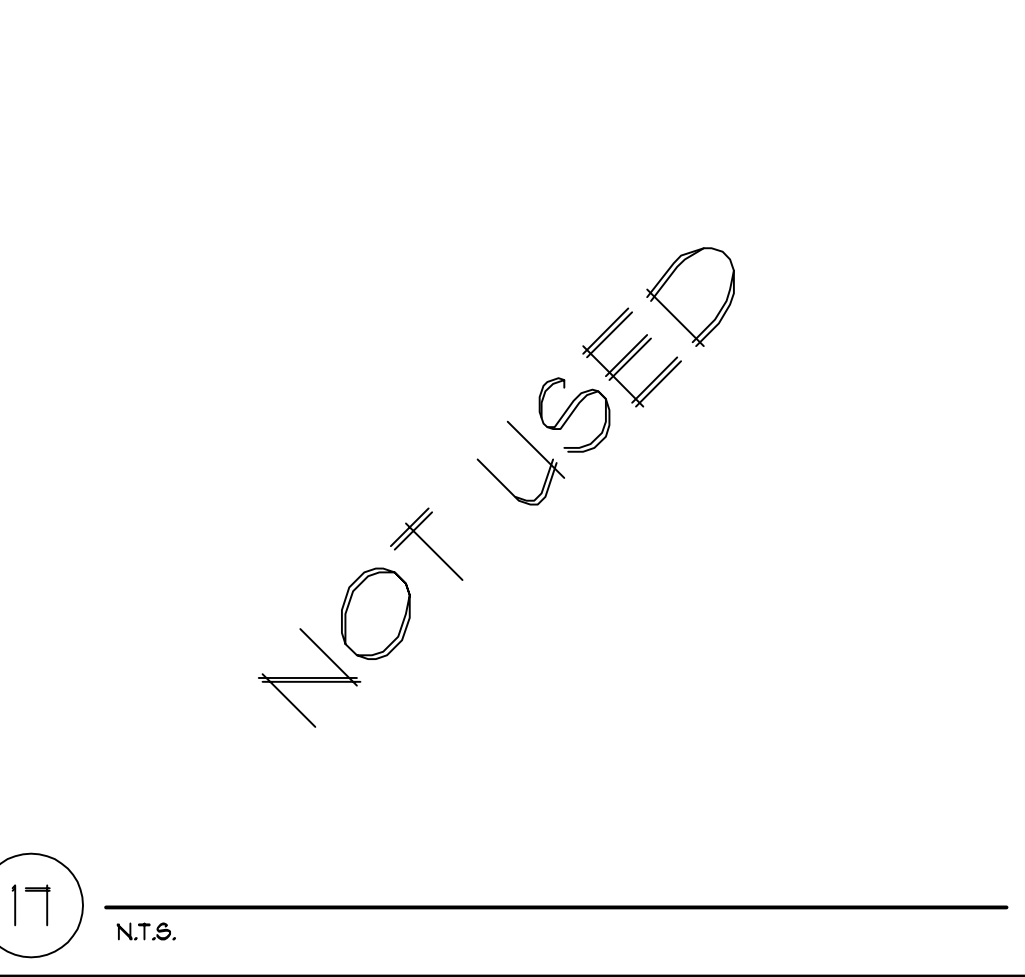
10 EAVE DETAIL
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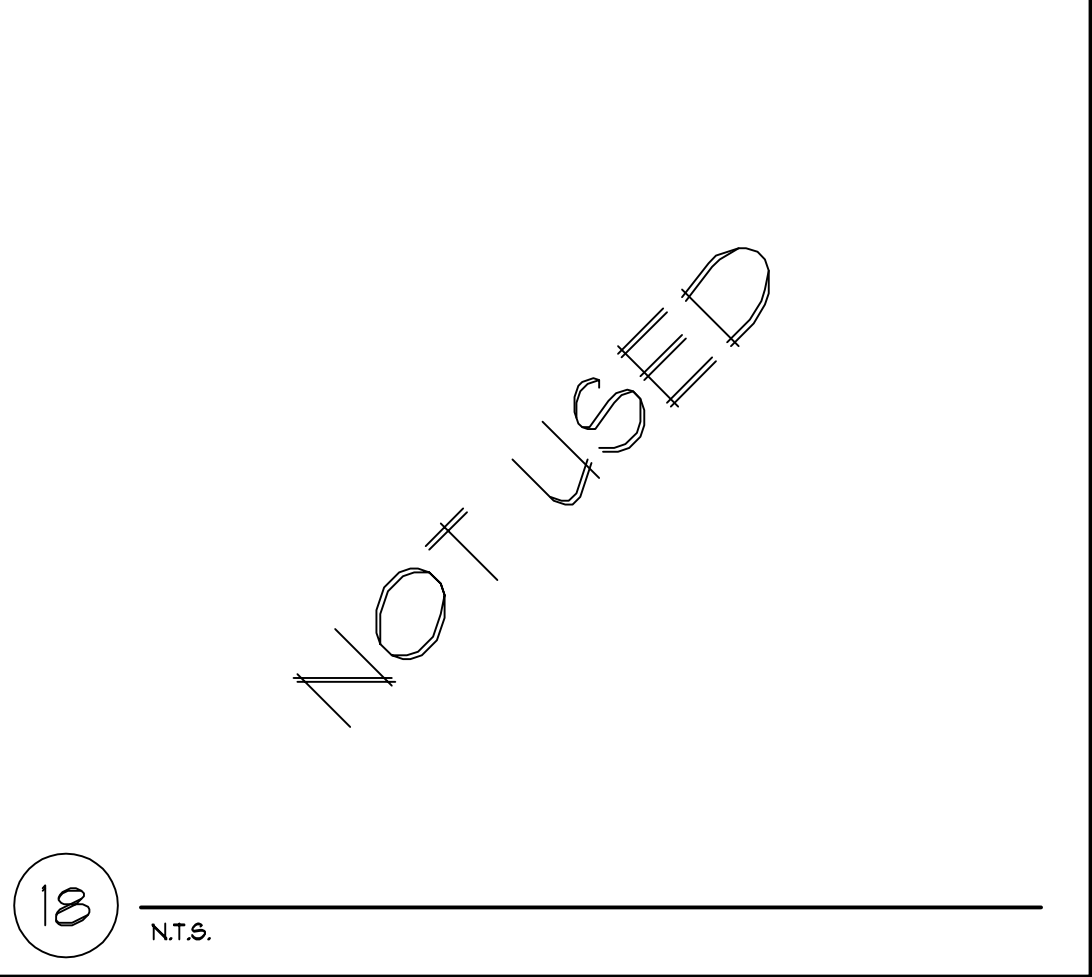
15 N.T.S.



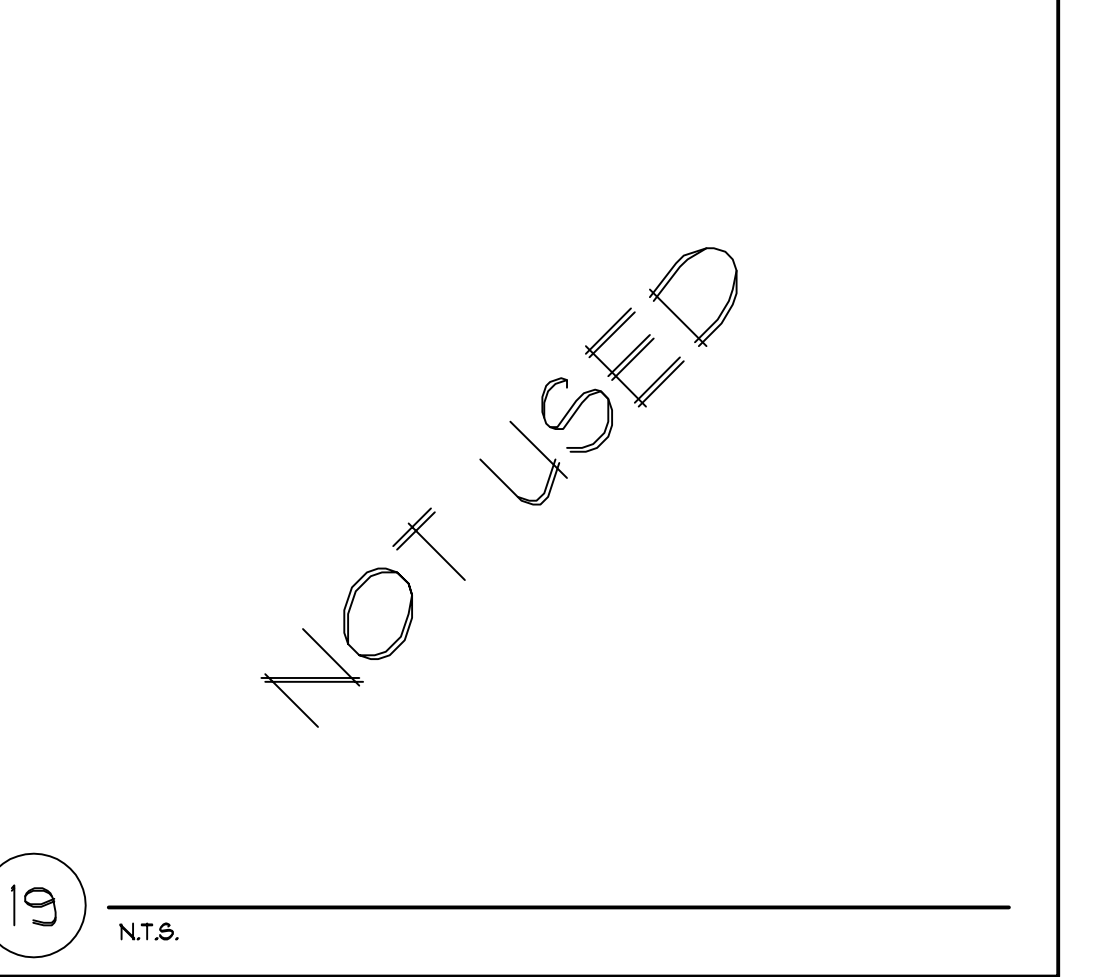
16 N.T.S.



17 N.T.S.



18 N.T.S.



19 N.T.S.

STRUCTURAL NOTES

CODES AND SPECIFICATIONS

- INTERNATIONAL BUILDING CODE, 2021 EDITION, ASCE 7-22
- INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION
- SIMPSON STRONG TIE WOOD CONSTRUCTION CONNECTORS 2024-2025 FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE STAINLESS STEEL, ZMAX(C185HDG PER ASTM A653), BATCH/POST HOT-DIP GALVANIZED (PER ASTM B695, CLASS 55 OR GREATER), UNCOATED AND PAINTED PRODUCTS SHOULD NOT BE USED WITH TREATED WOOD. WHEN USING STAINLESS STEEL HOT-DIP GALVANIZED CONNECTORS, THE CONNECTORS AND FASTENERS SHOULD BE MADE OF THE SAME MATERIAL.

DESIGN CRITERIA

- WIND LOAD: INTERNATIONAL BUILDING CODE, 2021, ASCE 7-22, ALTERNATE ALL-HEIGHTS METHOD, ULTIMATE DESIGN WIND SPEED = 110 MPH, NOMINAL DESIGN WIND SPEED = 85 MPH, EXPOSURE B
- SEISMIC: INTERNATIONAL BUILDING CODE, 2021, ASCE 7-22
RISK CATEGORY II, SEISMIC IMPORTANCE CATEGORY, I=1.0
MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS, S_s=1.5, S₁=0.5
SITE CLASS D
DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS, S_{ds}=1.0g, S_d=0.5g
SEISMIC DESIGN CATEGORY, D2
BASIC SEISMIC FORCE-RESISTING SYSTEM: LIGHT FRAME WALLS WITH WOOD SHEAR WALLS
DESIGN BASE SHEAR, V + F(S_{ds})(W)/R = 0.1846W
RESPONSE MODIFICATION COEFFICIENT, R=6.5
ANALYSIS PROCEDURE USED: SIMPLIFIED ALTERNATIVE STRUCTURAL DESIGN FOR SIMPLE BEARING WALL SYSTEMS
- ROOF LOAD: DL = 15 PSF LL = 25 PSF (ROOF SNOW LOAD)
- FLOOR LOAD: DL = 10 PSF LL = 40 PSF
- DECK LOAD: DL = 10 PSF LL = 60 PSF
- SOILS: PER REPORT BY CORAL GEOSCIENCES DATED 3/26/24
2000 PSF ALLOWABLE SOIL BEARING, 16" MIN. CONTINUOUS FOOTING & 24" MIN. ISOLATED FOOTING
35 PCF ACTIVE SOIL PRESSURE, 250 PCF PASSIVE PRESSURE, 0.30 COEFFICIENT OF FRICTION
ALL FOOTINGS AND SLABS SHALL BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MODIFIED PROCTOR.
- CONCRETE: 3000 PSI @ 28 DAYS (2500 PSI USED FOR DESIGN)
GRADE 40 REINFORCEMENT
MINIMUM 3" COVER FOR ALL REINFORCEMENT EXCEPT AS NOTED AT RETAINING WALL OR OTHER DETAILS.

TIMBER CONSTRUCTION DETAILS

- LUMBER GRADES AND ALLOWABLE STRESSES SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE ON PLANS:
ALL SAWN LUMBER HF#2 OR BETTER, F_b = 875 PSI, F_v = 75 PSI, E = 1,300,000
GLULAM BEAMS 24F-V4, F_b = 2400 PSI, F_v = 165 PSI, E = 1,800,000
MICROLAM, LVL F_b = 2600 PSI, F_v = 285 PSI, E = 1,900,000
PARALLAMS, PSL F_b = 2600 PSI, F_v = 290 PSI, E = 2,900,000
- WHEN TOP PLATE IS INTERRUPTED BY HEADER, HEADER SHALL HAVE STRAP CONNECTORS TO THE TOP PLATE EACH END. USE 2-SIMPSON W12A24 CONNECTORS, UNLESS NOTED OTHERWISE.
- ALL SHEAR WALL SHEATHING, NAILS AND ANCHORS SHALL BE AS DETAILED ON THE DRAWINGS AND AS NOTED IN THE SHEAR WALL SCHEDULE.
- FLOOR SHEATHING SHALL BE 3/4" MINIMUM APA RATED FLOOR SHEATHING WITH 10d COMMON @ 6"OC AT ALL SUPPORTED PANEL EDGES AND 10d @ 12"OC AT INTERMEDIATE SUPPORTS.
- ROOF SHEATHING SHALL BE 3/4" MINIMUM APA RATED ROOF SHEATHING WITH 8d COMMON @ 6"OC AT ALL SUPPORTED PANEL EDGES AND 8d @ 12"OC AT INTERMEDIATE SUPPORTS.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ANY VARIATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR THE ENGINEER OF RECORD.
- ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION SHALL BE PROVIDED.
- ANY PROPOSED FIELD CHANGES MUST HAVE THE APPROVAL OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

SHEAR WALL SCHEDULE

SHEAR WALL TYPE	SHEATHING (NOTE 5)	FASTENER SPACING (COMMON OR GALVANIZED BOX NAILS)	BOTTOM PLATE NAILING OR ANCHOR BOLTS	FRAMING ANCHORS (NOTES 7 & 8)	ALLOWABLE SHEAR	NOTES
1A	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 6' OC	16d @ 8' OC OR 1/2" A.B. @ 5'-6" OC	RBC @ 32" OC LTP4 @ 48" OC A35 @ 48" OC	130 PLF	1, 2, 3, 11
1	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 6' OC	16d @ 6' OC OR 1/2" A.B. @ 3'-2" OC OR 3/8" A.B. @ 5'-0" OC	RBC @ 18" OC LTP4 @ 30" OC A35 @ 30" OC	242 PLF	1, 2, 3, 11
2	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 4' OC	16d @ 4' OC OR 1/2" A.B. @ 2'-2" OC OR 3/8" A.B. @ 3'-4" OC	RBC @ 12" OC LTP4 @ 18" OC A35 @ 18" OC	353 PLF	1, 2, 3, 11
3	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 3' OC	1/2" X 5" LAG SCREW @ 8"OC OR 1/2" A.B. @ 3'-2" OC OR 3/8" A.B. @ 5'-0" OC	RBC @ 10" OC LTP4 @ 15" OC A35 @ 15" OC	456 PLF	1, 2, 3, 4, 9, 10, 11
4	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	10d @ 3' OC	1/2" X 5" LAG SCREW @ 6"OC OR 1/2" A.B. @ 1'-4" OC OR 3/8" A.B. @ 2'-0" OC	RBC @ 8" OC LTP4 @ 12" OC A35 @ 12" OC	558 PLF	1, 2, 3, 4, 9, 10, 11
5	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	10d @ 2' OC	1/2" X 5" LAG SCREW @ 5"OC OR 1/2" A.B. @ 1'-0" OC OR 3/8" A.B. @ 1'-8" OC	RBC @ 6" OC LTP4 @ 10" OC A35 @ 10" OC	716 PLF	1, 2, 3, 4, 9, 10, 11
6	19/32" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 BOTH SIDES	10d @ 2' OC	1/2" X 5" LAG SCREW @ 2"OC OR 3/4" A.B. @ 1'-0" OC	LTP4 @ 6" OC A35 @ 6" OC	1618 PLF	1, 2, 3, 4, 6, 9, 10, 11

1. ALL FASTENERS SHALL MEET THE FOLLOWING CRITERIA: 8d COMMON = 0.131" DIAMETER X 2 1/2", 8d GALVANIZED BOX = 0.113 DIAMETER X 2 1/2", 10d COMMON = 0.148 DIAMETER X 3", 10d GALVANIZED BOX = 0.128" X 3", 16d COMMON = 0.162" X 3 1/2".

2. PANEL EDGES SHALL BE BACKED WITH 2" NOMINAL OR WIDER FRAMING. SPACE FASTENERS @ 12" OC ON INTERMEDIATE SUPPORTS.

3. PROVIDE ALL ANCHOR BOLTS WITH 3" X 3" X 1/2" PLATE WASHERS. LOCATE WITHIN 1/2" OF SHEATHING.

4. AT GARAGE JAMBS, REFER TO LATERAL RESTRAINT PANEL DETAIL 401/S1.

5. PROVIDE 1/2" APA RATED SHEATHING (PLYWOOD OR OSB) OR APA RATED SIDING 303 OR INNER SEAL OSB RATED PANEL SIDING ON ALL EXTERIOR WALLS DESIGNATED AS SHEAR WALLS.

6. WHERE PANELS ARE APPLIED ON BOTH SIDES OF A WALL AND NAIL SPACING IS LESS THAN 6" OC ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3" NOMINAL OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.

7. REFER TO TYPICAL SHEAR WALL DETAILS ON STRUCTURAL DETAIL SHEET FOR LOCATION OF FRAMING ANCHORS.

8. AT UPPER FLOOR INTERIOR SHEAR WALLS, REFER TO DETAIL 303/S2 OR 304/S2.

9. AT SHEAR WALL TYPES 3, 4, 5 AND 6, ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3X MEMBER OR (2) 2X MEMBERS. FOR EXAMPLE, PROVIDE A 3X STUD AT VERTICAL JOINTS IN THE SHEATHING.

10. AT SHEAR WALL TYPES 3, 4, 5 AND 6, FOUNDATION SILL PLATES AND BOTTOM PLATES OF SHEAR WALLS SHALL NOT BE LESS THAN A SINGLE 3X MEMBER OR (2) 2X MEMBERS. ALSO, PROVIDE A 3X MINIMUM WIDTH MEMBER BELOW SHEAR WALL TO RECEIVE LAG SCREWS SUCH AS A 3X RIM JOIST, 3X JOIST OR BEAM OR BLOCKING BELOW SHEAR WALL.

11. FASTENERS AT PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL, G185 HDG, BATCH/POST HOT-DIP GALVANIZED OR MECHANICALLY GALVANIZED.

FOOTING SCHEDULE

MARK	SIZE	DEPTH	REINFORCING	ALLOWABLE LOAD
18	18"x18"	8"	(2) #4 EACH WAY	3375#
24	24"x24"	10"	(3) #4 EACH WAY	6000#
30	30"x30"	10"	(3) #5 EACH WAY	9375#
36	36"x36"	10"	(3) #5 EACH WAY	13500#
42	42"x42"	10"	(3) #5 EACH WAY	18375#
48	48"x48"	12"	(4) #5 EACH WAY	24000#
54	54"x54"	12"	(5) #5 EACH WAY	30375#
60	60"x60"	12"	(5) #5 EACH WAY	37500#
66	66"x66"	12"	(6) #5 EACH WAY	45375#
72	72"x72"	12"	(7) #5 EACH WAY	54000#

NOTE:
FOOTING DESIGN IS BASED ON 2500 PSI CONCRETE AND AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF

General Notes

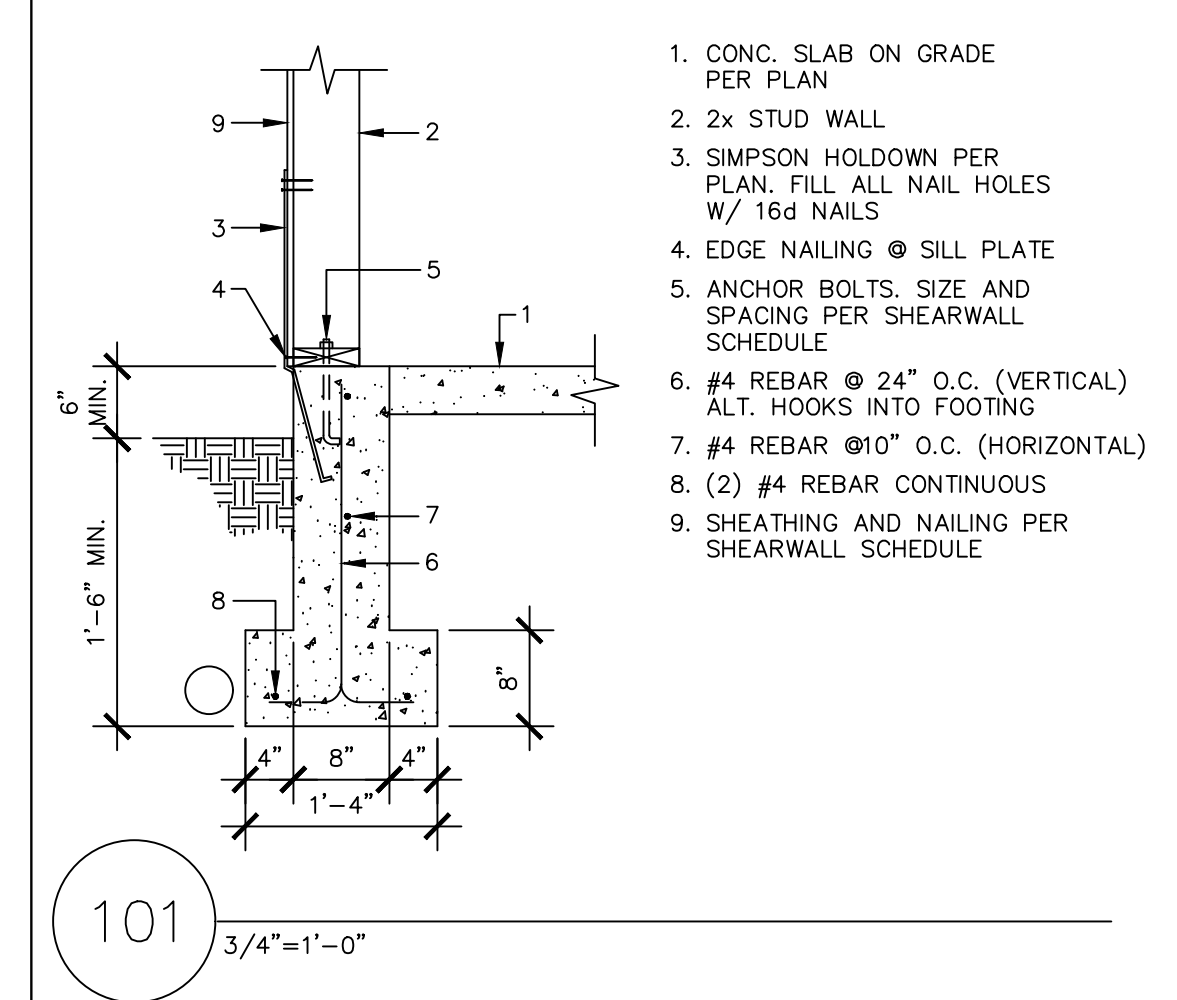


REV. 1/9/24		
No.	Revision/Issue	Date

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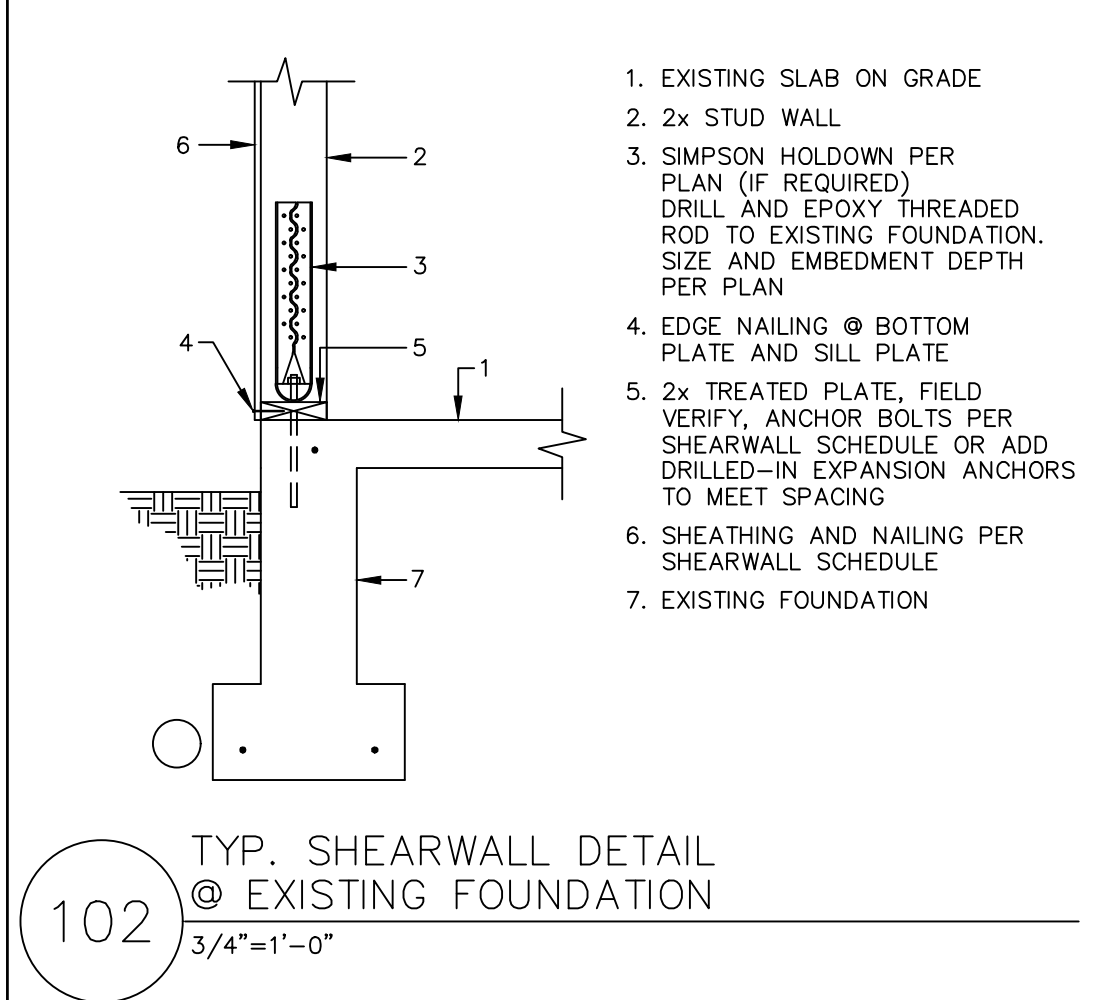
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Project MAWER-Baidwan	Sheet SD1
Date 4/1/24	
Scale AS NOTED	



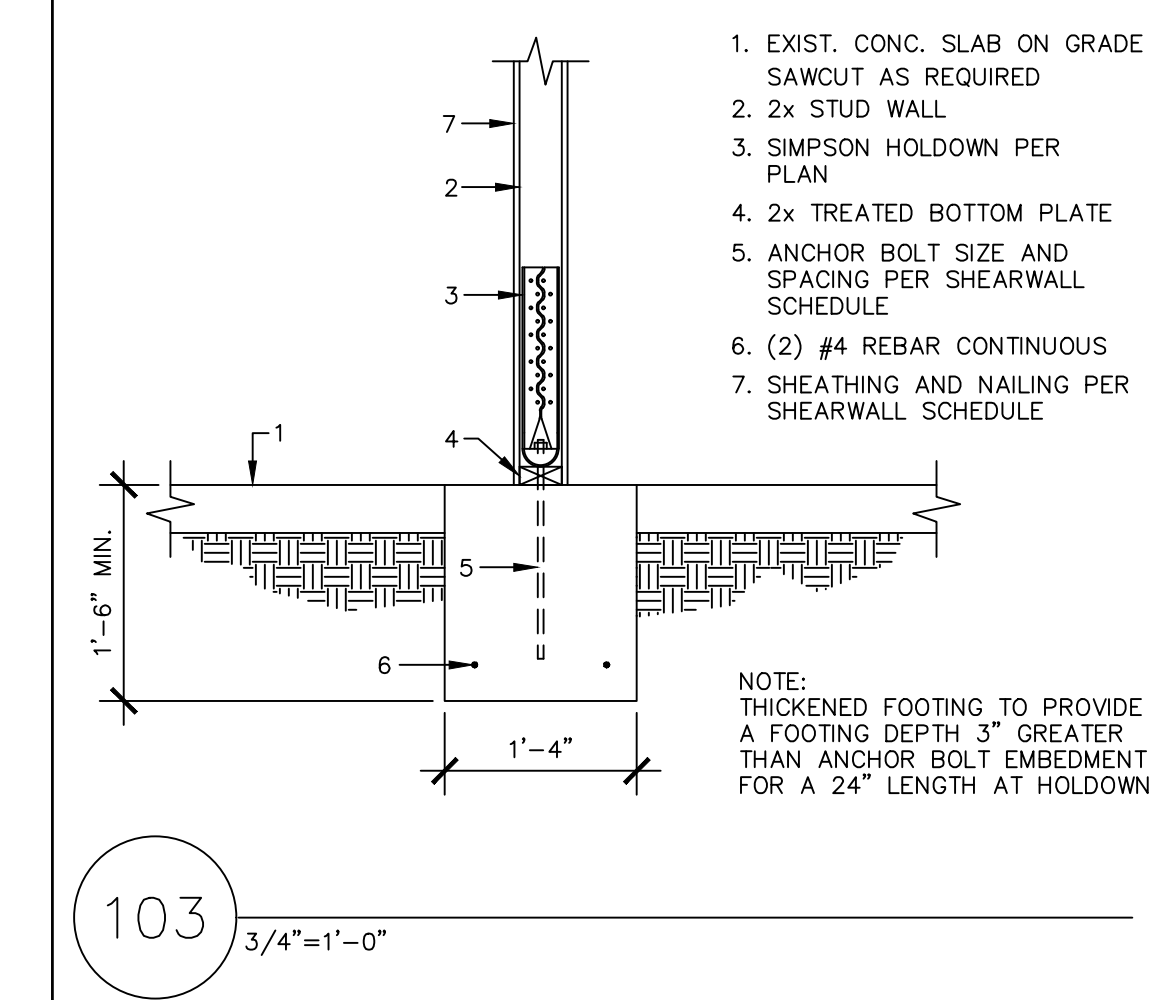
1. CONC. SLAB ON GRADE PER PLAN
2. 2x STUD WALL
3. SIMPSON HOLDOWN PER PLAN. FILL ALL NAIL HOLES W/ 16d NAILS
4. EDGE NAILING @ SILL PLATE
5. ANCHOR BOLTS. SIZE AND SPACING PER SHEARWALL SCHEDULE
6. #4 REBAR @ 24" O.C. (VERTICAL) ALT. HOOKS INTO FOOTING
7. #4 REBAR @ 10" O.C. (HORIZONTAL)
8. (2) #4 REBAR CONTINUOUS
9. SHEATHING AND NAILING PER SHEARWALL SCHEDULE

101 3/4"=1'-0"



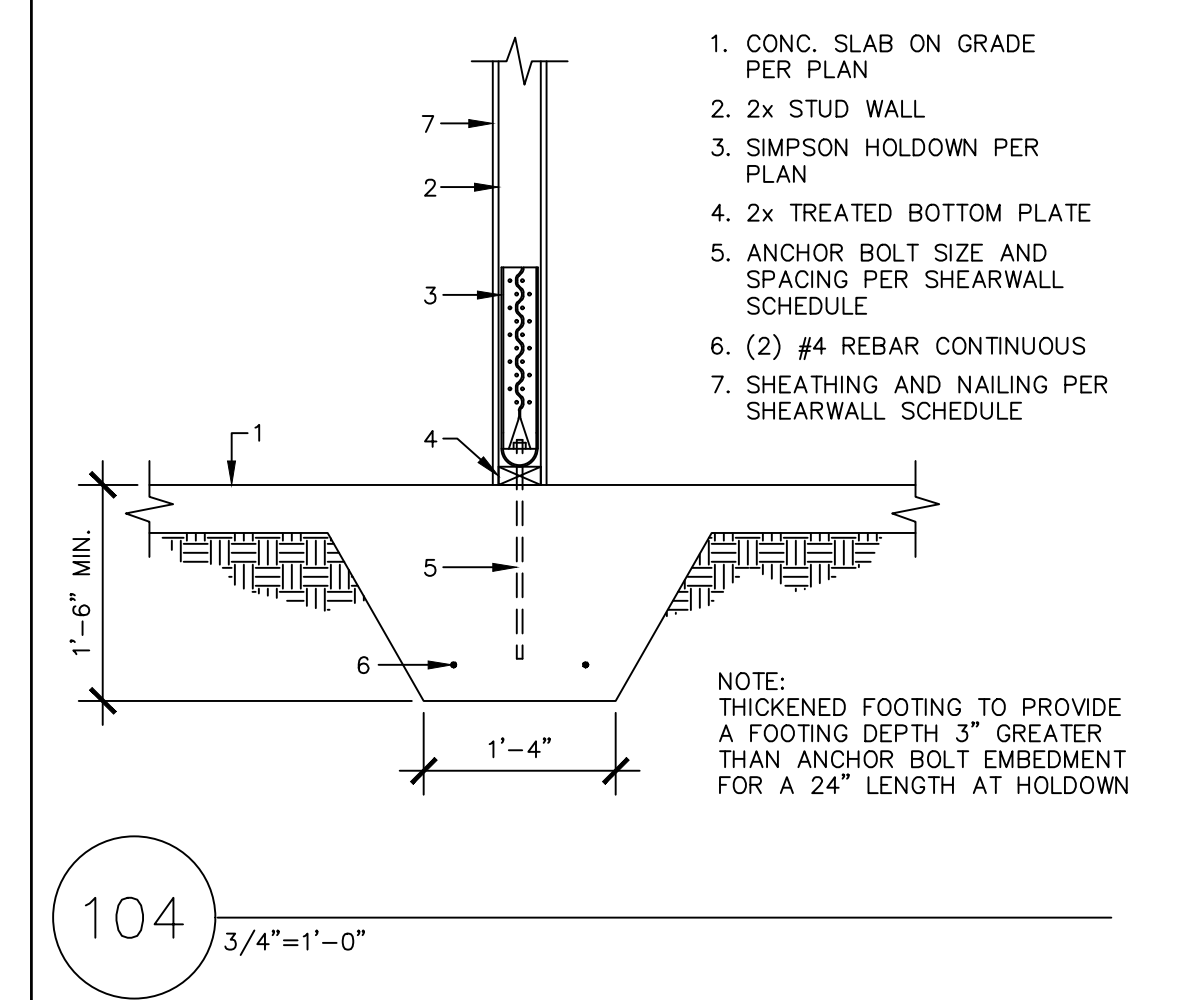
1. EXISTING SLAB ON GRADE
2. 2x STUD WALL
3. SIMPSON HOLDOWN PER PLAN (IF REQUIRED) DRILL AND EPOXY THREADED ROD TO EXISTING FOUNDATION. SIZE AND EMBEDMENT DEPTH PER PLAN
4. EDGE NAILING @ BOTTOM PLATE AND SILL PLATE
5. 2x TREATED PLATE, FIELD VERIFY, ANCHOR BOLTS PER SHEARWALL SCHEDULE OR ADD DRILLED-IN EXPANSION ANCHORS TO MEET SPACING
6. SHEATHING AND NAILING PER SHEARWALL SCHEDULE
7. EXISTING FOUNDATION

102 TYP. SHEARWALL DETAIL @ EXISTING FOUNDATION 3/4"=1'-0"



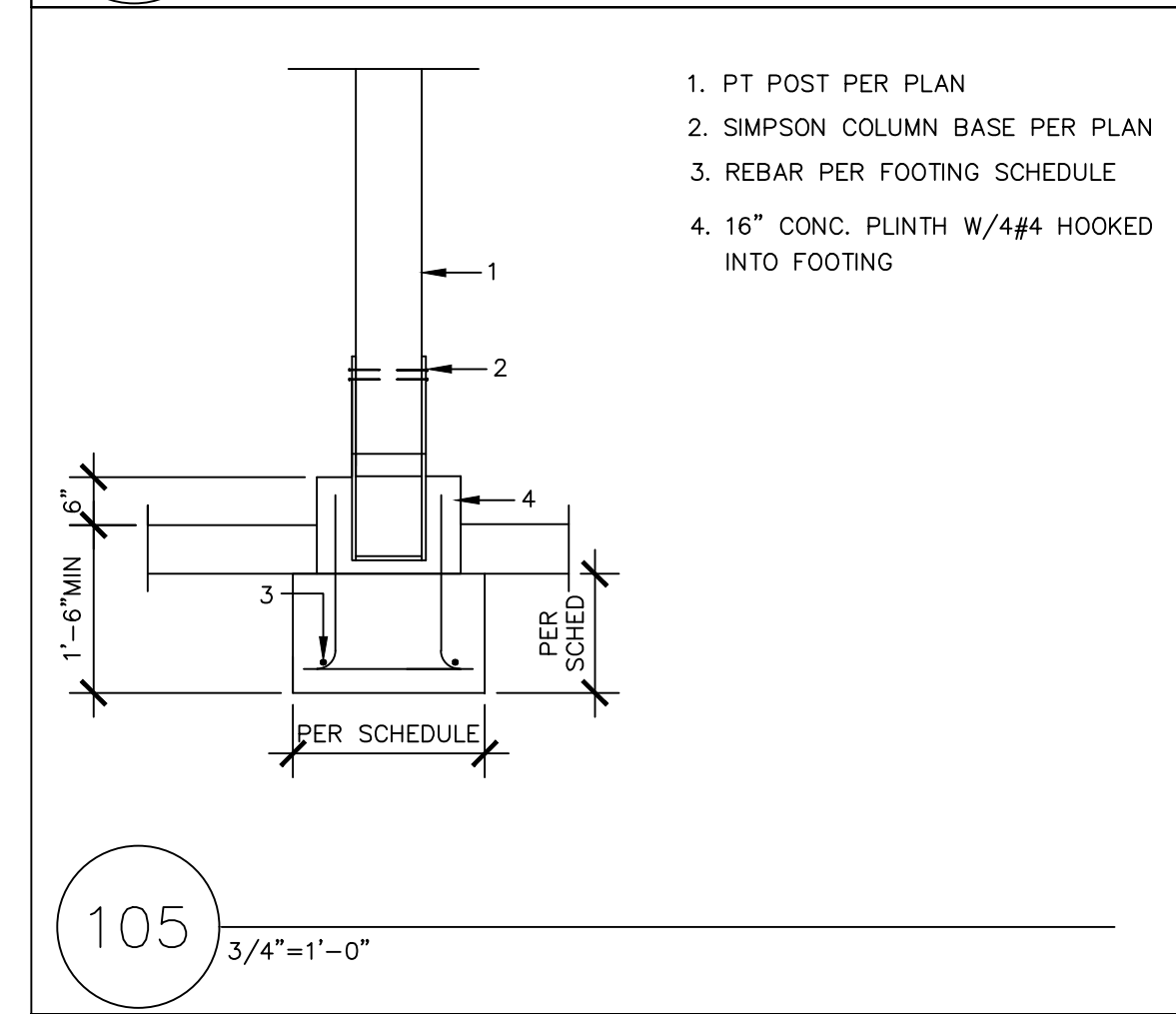
NOTE: THICKENED FOOTING TO PROVIDE A FOOTING DEPTH 3" GREATER THAN ANCHOR BOLT EMBEDMENT FOR A 24" LENGTH AT HOLDOWN

103 3/4"=1'-0"



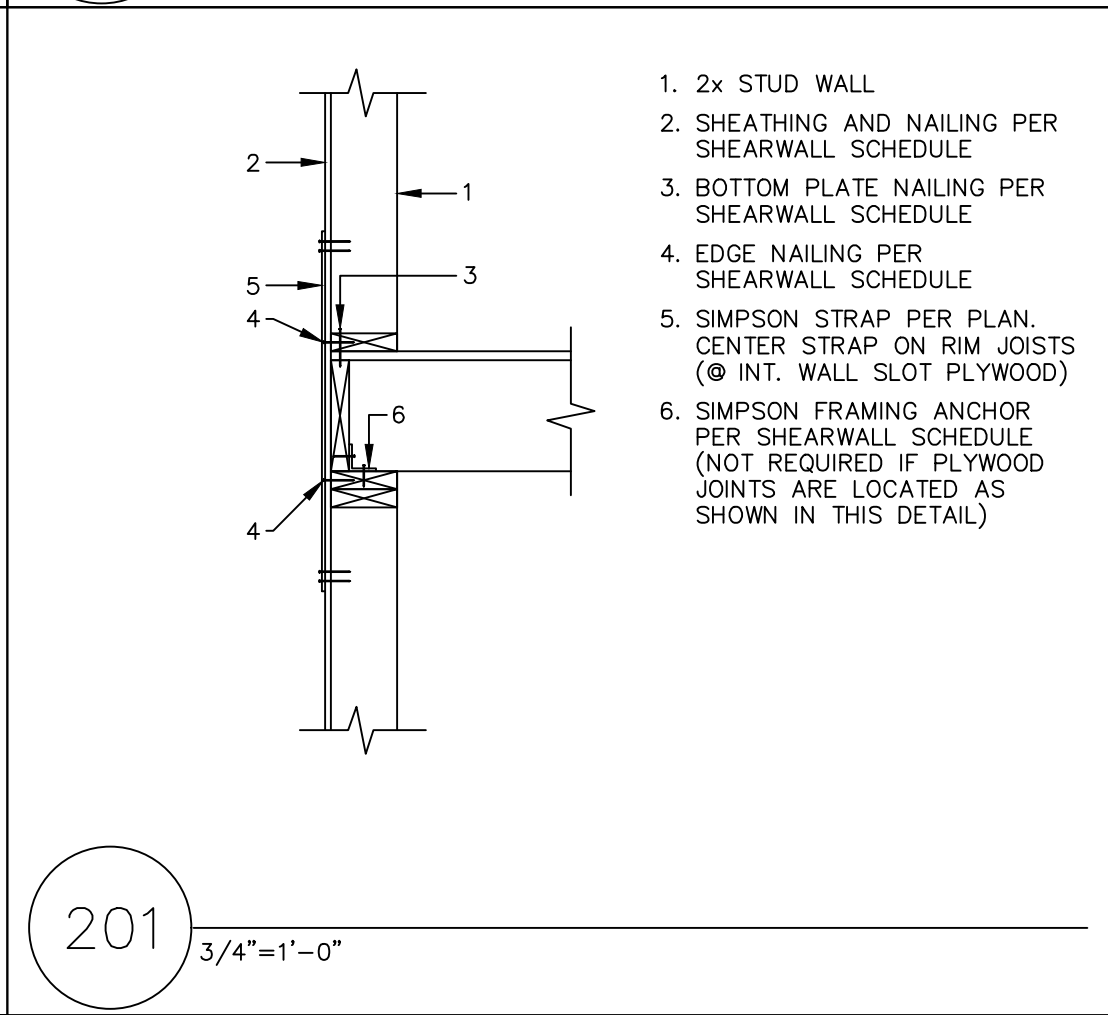
NOTE: THICKENED FOOTING TO PROVIDE A FOOTING DEPTH 3" GREATER THAN ANCHOR BOLT EMBEDMENT FOR A 24" LENGTH AT HOLDOWN

104 3/4"=1'-0"



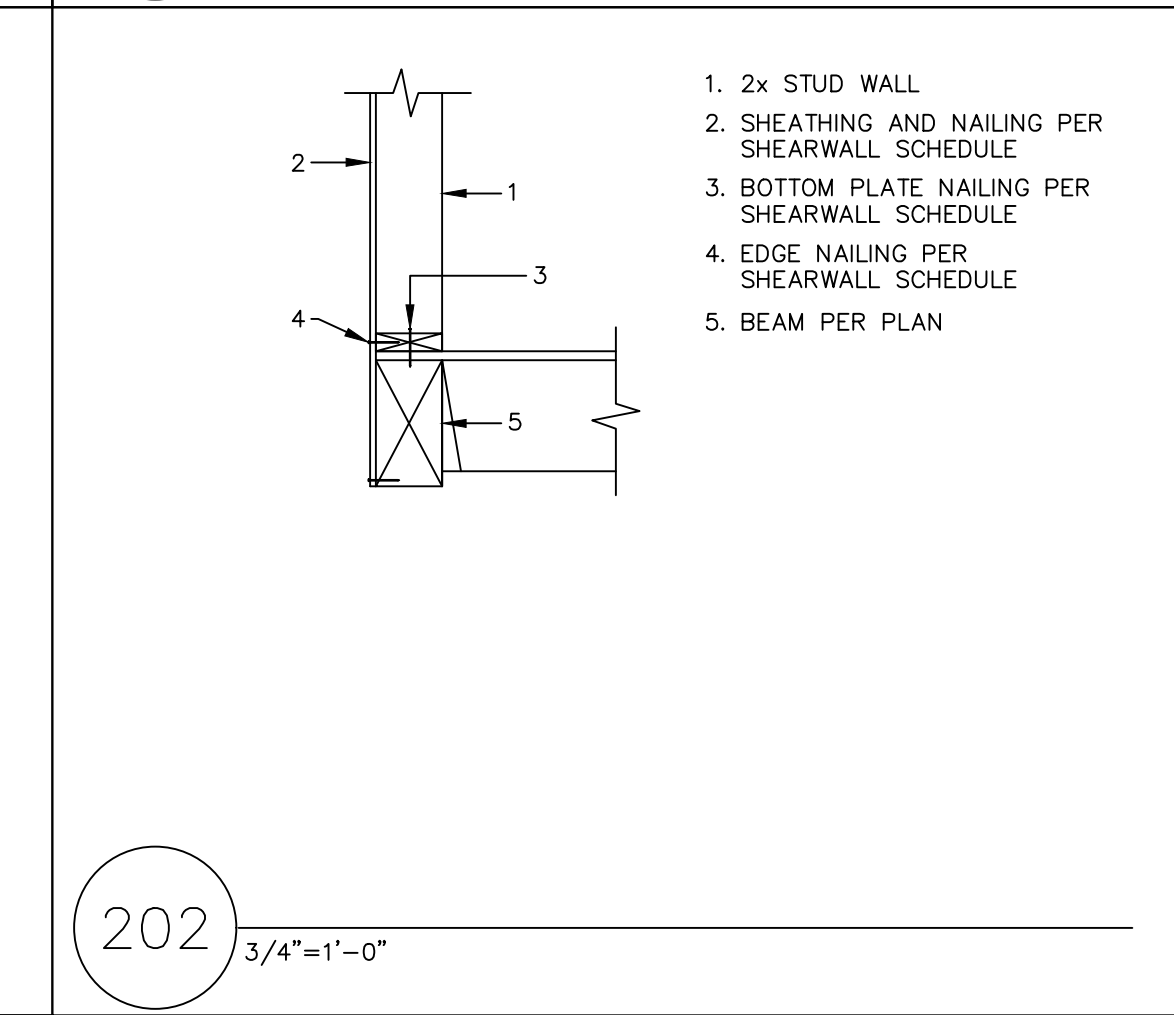
1. PT POST PER PLAN
2. SIMPSON COLUMN BASE PER PLAN
3. REBAR PER FOOTING SCHEDULE
4. 16" CONC. PLINTH W/ #4 HOOKED INTO FOOTING

105 3/4"=1'-0"



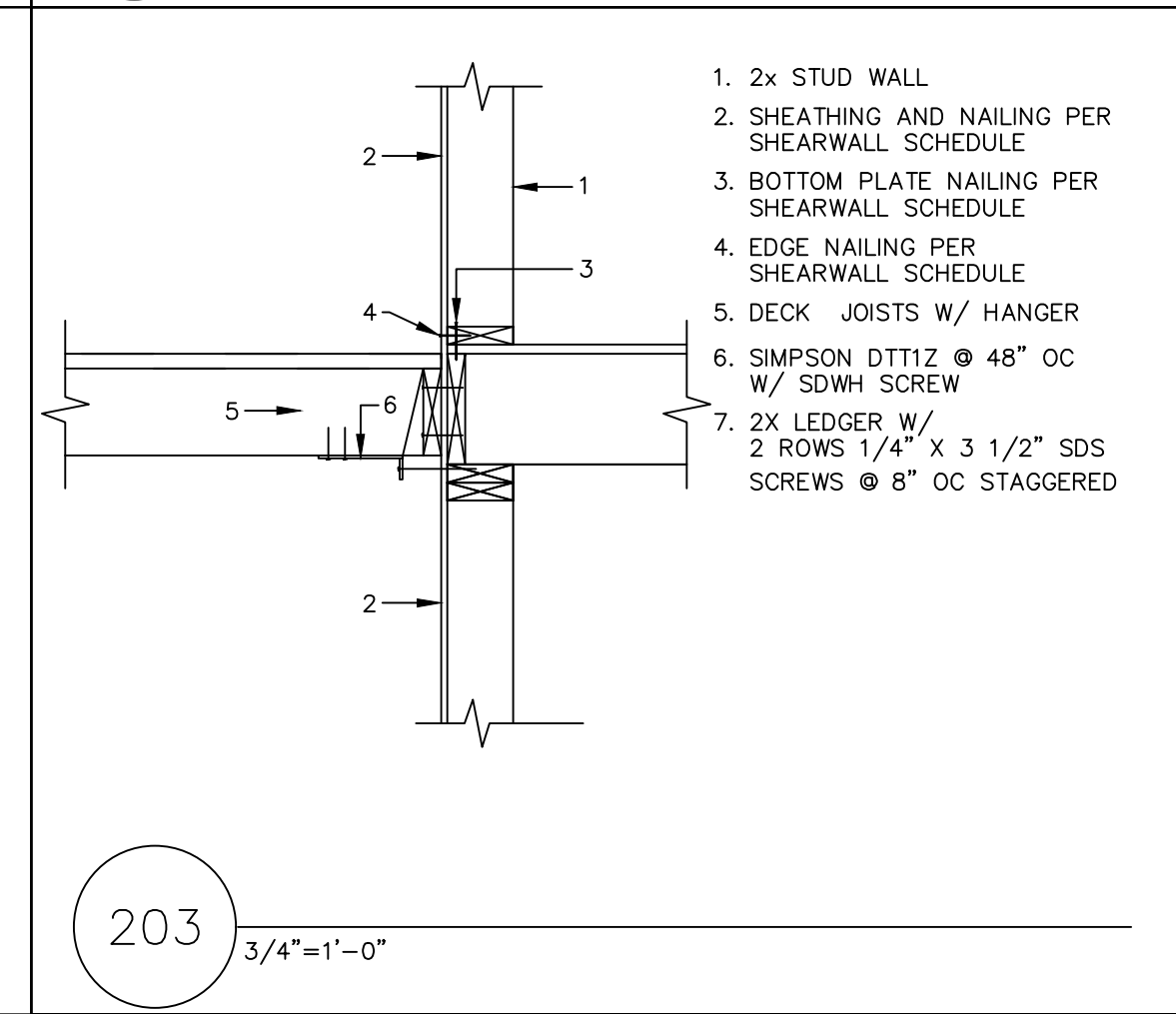
1. 2x STUD WALL
2. SHEATHING AND NAILING PER SHEARWALL SCHEDULE
3. BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
4. EDGE NAILING PER SHEARWALL SCHEDULE
5. SIMPSON STRAP PER PLAN. CENTER STRAP ON RIM JOISTS @ INT. WALL SLOT PLYWOOD
6. SIMPSON FRAMING ANCHOR PER SHEARWALL SCHEDULE (NOT REQUIRED IF PLYWOOD JOINTS ARE LOCATED AS SHOWN IN THIS DETAIL)

201 3/4"=1'-0"



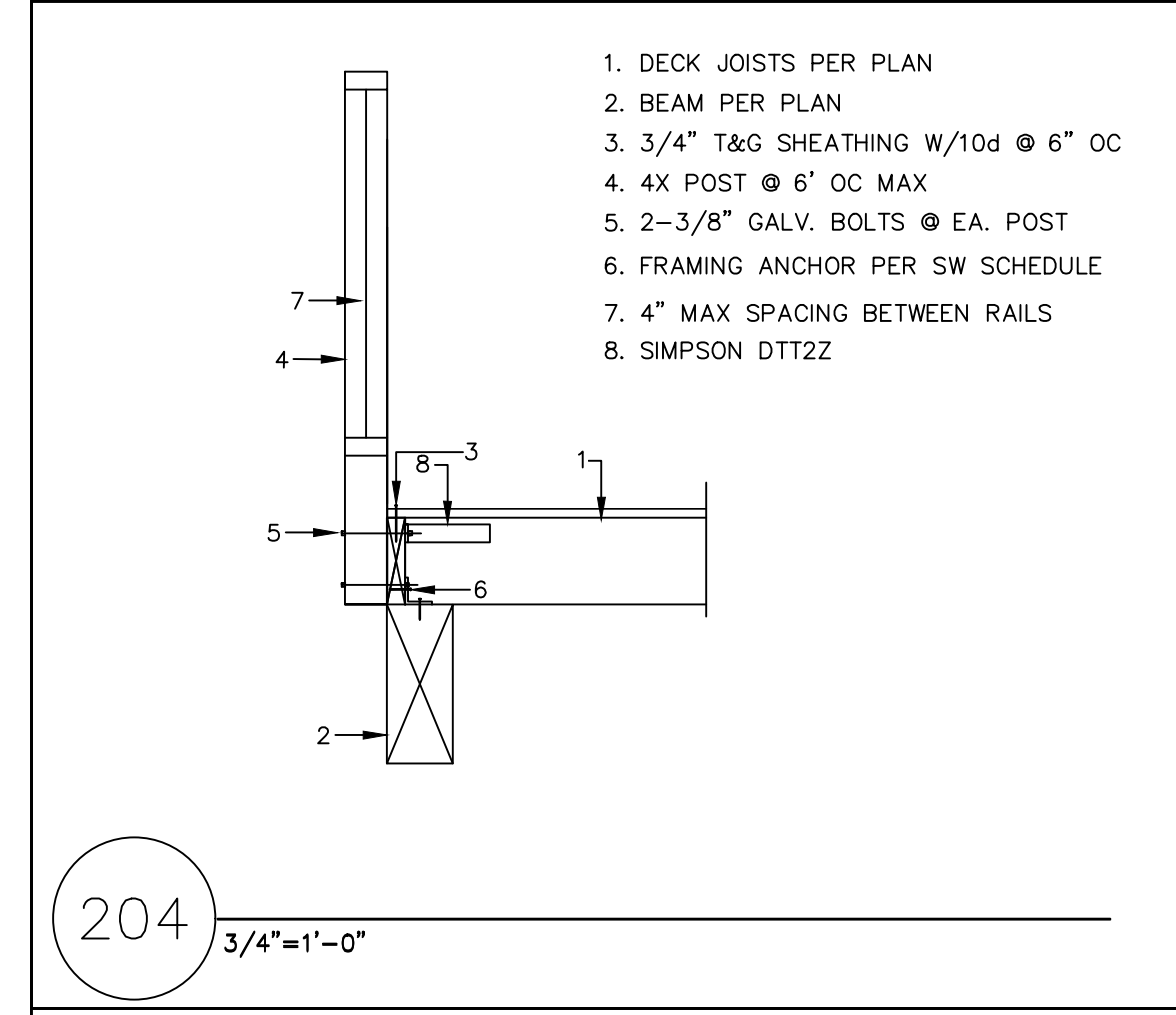
1. 2x STUD WALL
2. SHEATHING AND NAILING PER SHEARWALL SCHEDULE
3. BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
4. EDGE NAILING PER SHEARWALL SCHEDULE
5. BEAM PER PLAN

202 3/4"=1'-0"



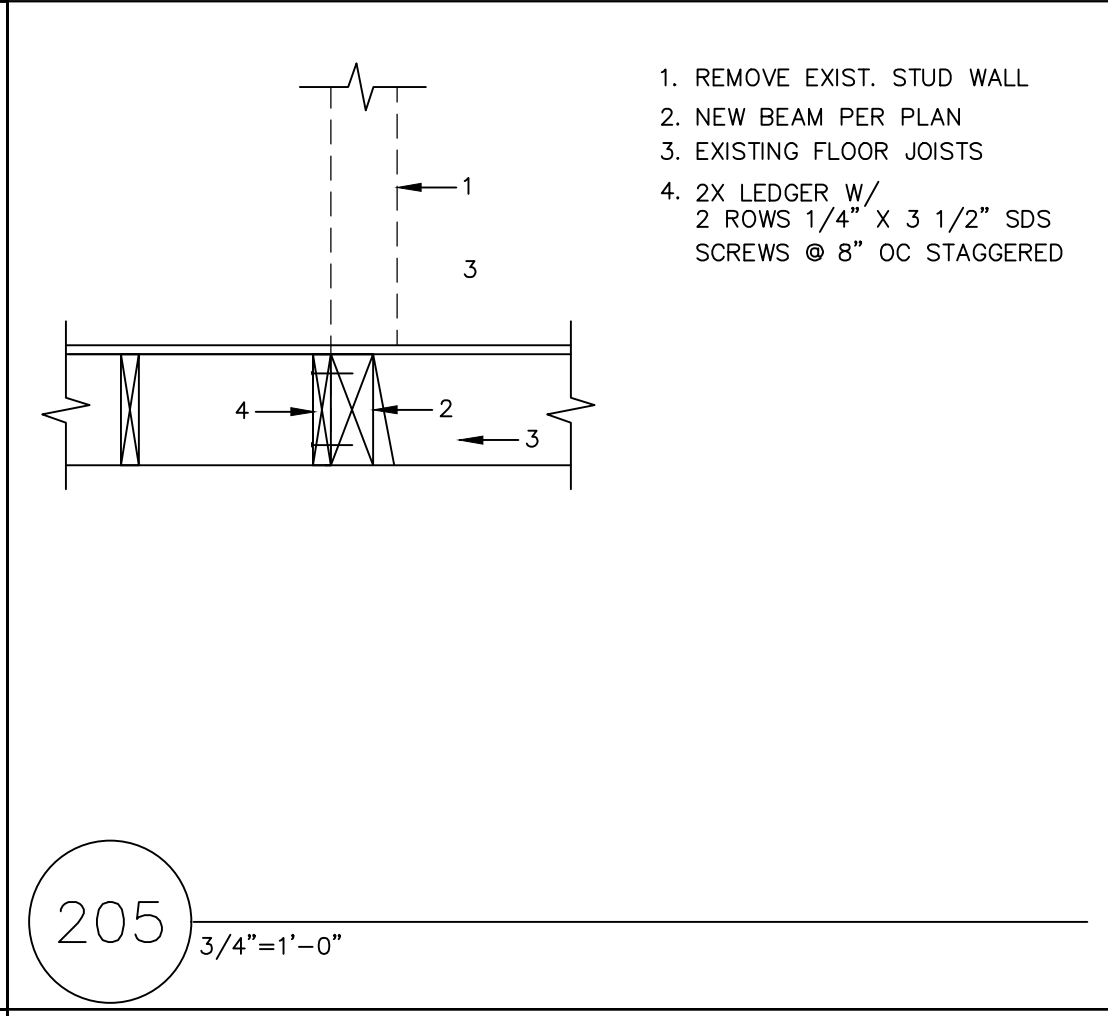
1. 2x STUD WALL
2. SHEATHING AND NAILING PER SHEARWALL SCHEDULE
3. BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
4. EDGE NAILING PER SHEARWALL SCHEDULE
5. DECK JOISTS W/ HANGER
6. SIMPSON DTT12 @ 48" OC W/ SDWH SCREW
7. 2X LEDGER W/ 2 ROWS 1/4" X 3 1/2" SDS SCREWS @ 8" OC STAGGERED

203 3/4"=1'-0"



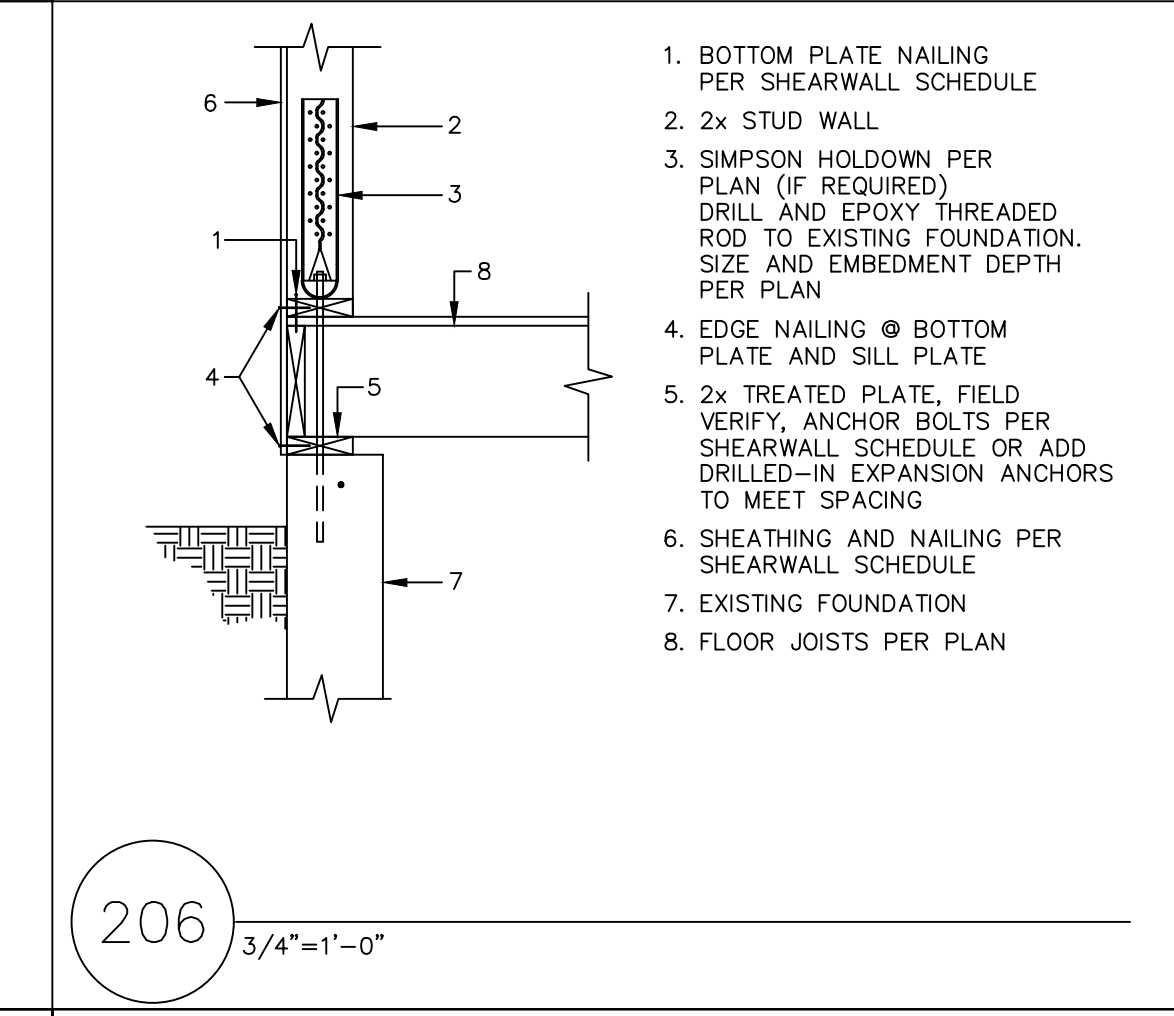
1. DECK JOISTS PER PLAN
2. BEAM PER PLAN
3. 3/4" T&G SHEATHING W/ 10d @ 6" OC
4. 4X POST @ 6' OC MAX
5. 2-3/8" GALV. BOLTS @ EA. POST
6. FRAMING ANCHOR PER SW SCHEDULE
7. 4" MAX SPACING BETWEEN RAILS
8. SIMPSON DTT22

204 3/4"=1'-0"



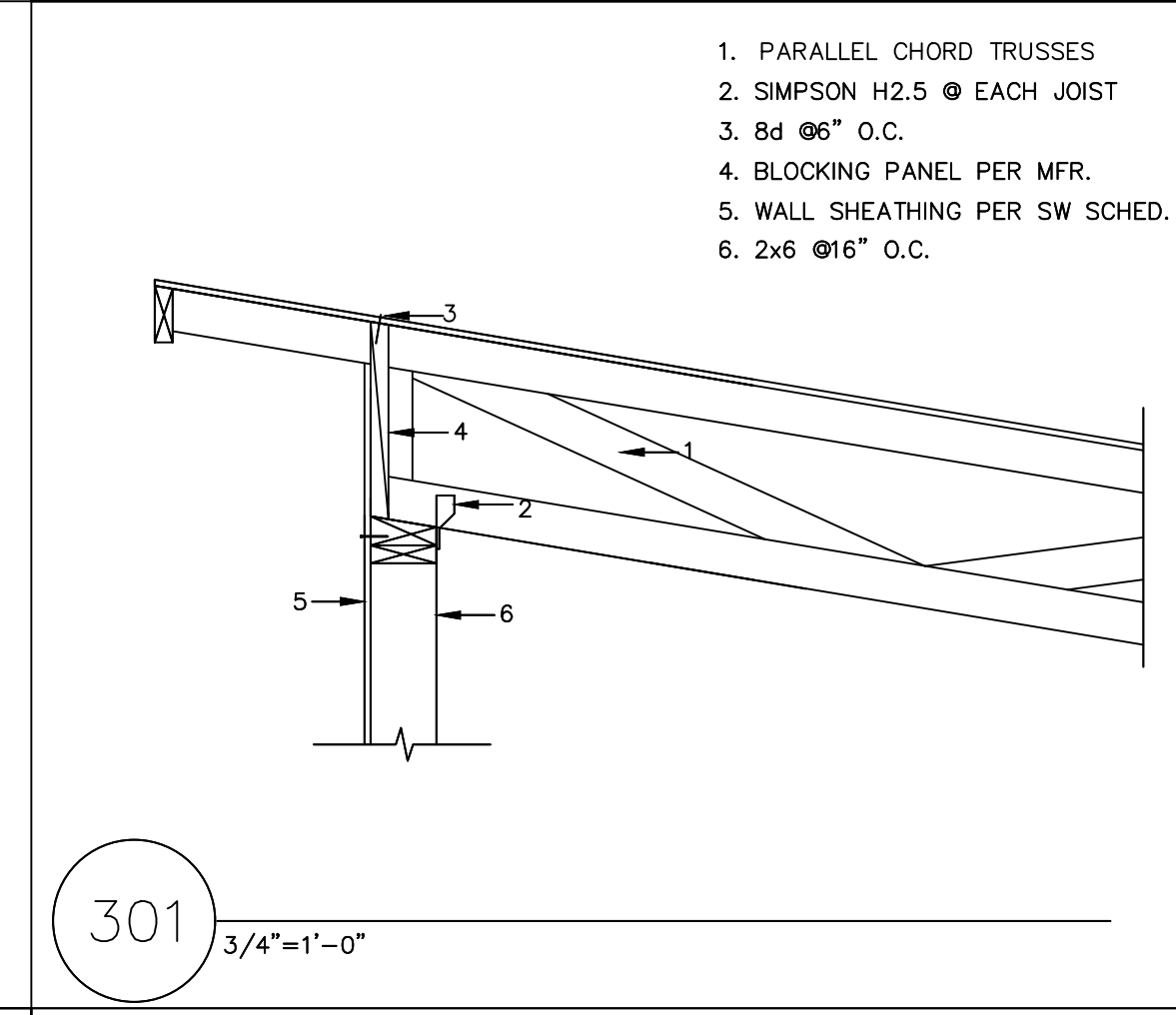
1. REMOVE EXIST. STUD WALL
2. NEW BEAM PER PLAN
3. EXISTING FLOOR JOISTS
4. 2X LEDGER W/ 2 ROWS 1/4" X 3 1/2" SDS SCREWS @ 8" OC STAGGERED

205 3/4"=1'-0"



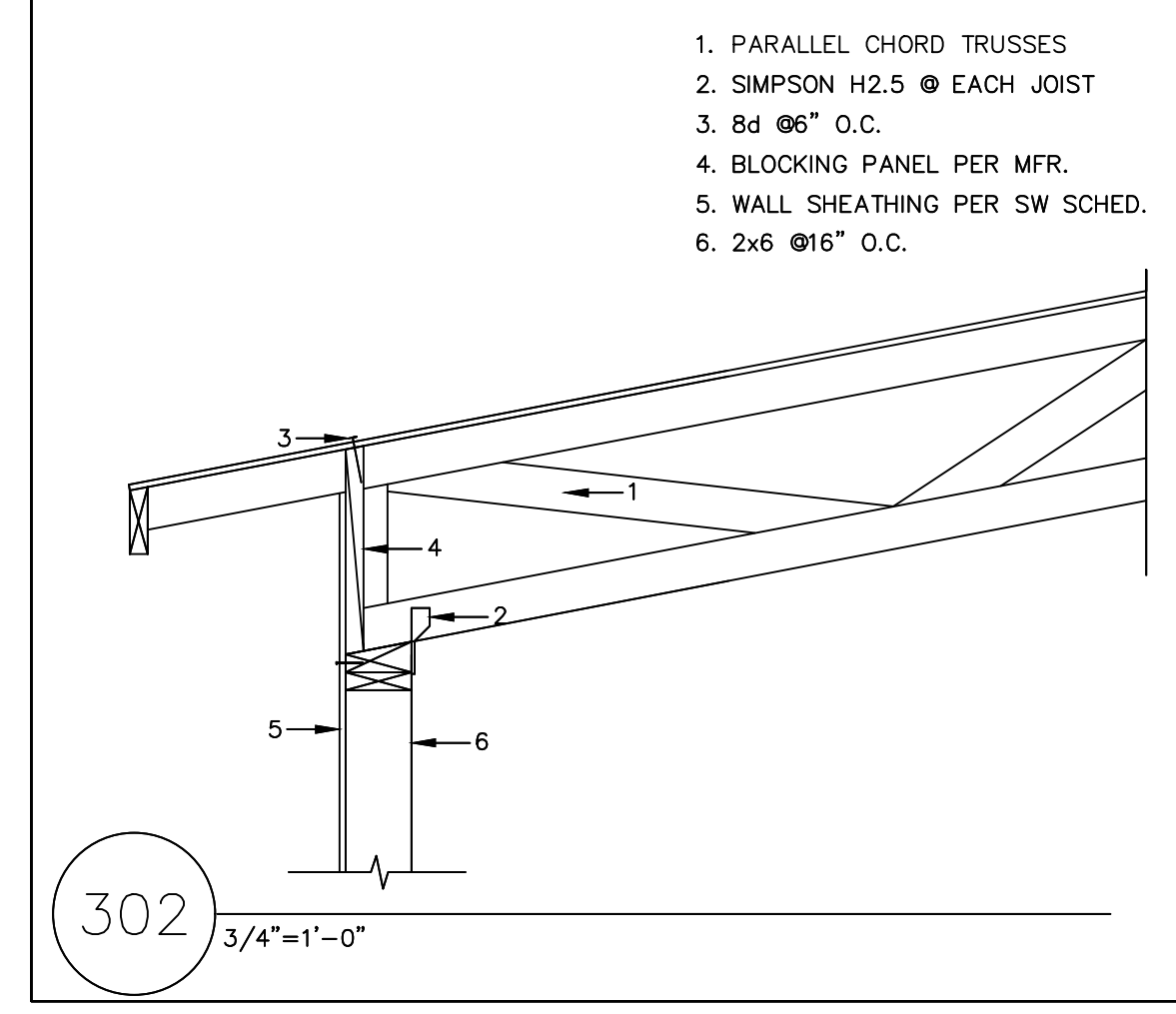
1. BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
2. 2x STUD WALL
3. SIMPSON HOLDOWN PER PLAN (IF REQUIRED) DRILL AND EPOXY THREADED ROD TO EXISTING FOUNDATION. SIZE AND EMBEDMENT DEPTH PER PLAN
4. EDGE NAILING @ BOTTOM PLATE AND SILL PLATE
5. 2x TREATED PLATE, FIELD VERIFY, ANCHOR BOLTS PER SHEARWALL SCHEDULE OR ADD DRILLED-IN EXPANSION ANCHORS TO MEET SPACING
6. SHEATHING AND NAILING PER SHEARWALL SCHEDULE
7. EXISTING FOUNDATION
8. FLOOR JOISTS PER PLAN

206 3/4"=1'-0"



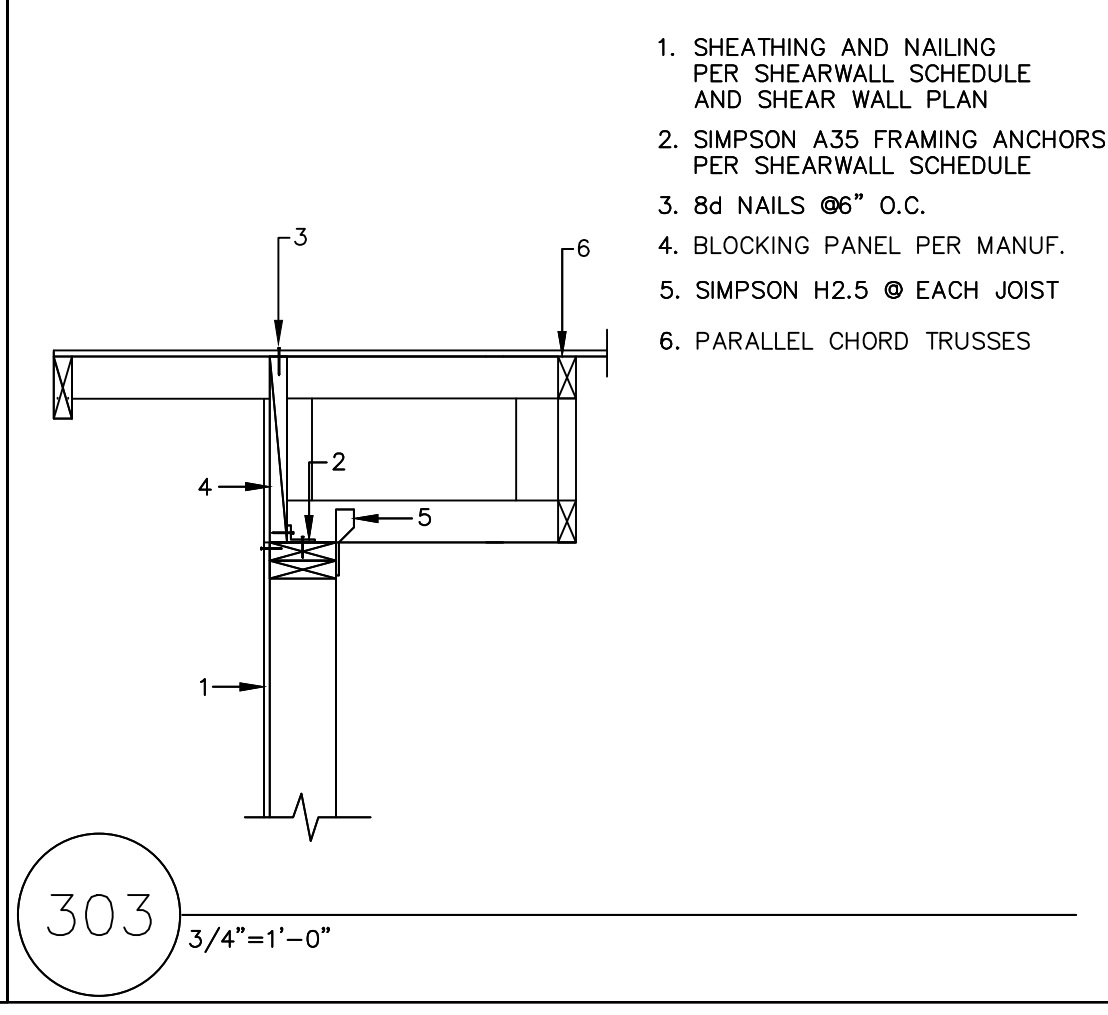
1. PARALLEL CHORD TRUSSES
2. SIMPSON H2.5 @ EACH JOIST
3. 8d @ 6" O.C.
4. BLOCKING PANEL PER MFR.
5. WALL SHEATHING PER SW SCHED.
6. 2x6 @ 16" O.C.

301 3/4"=1'-0"



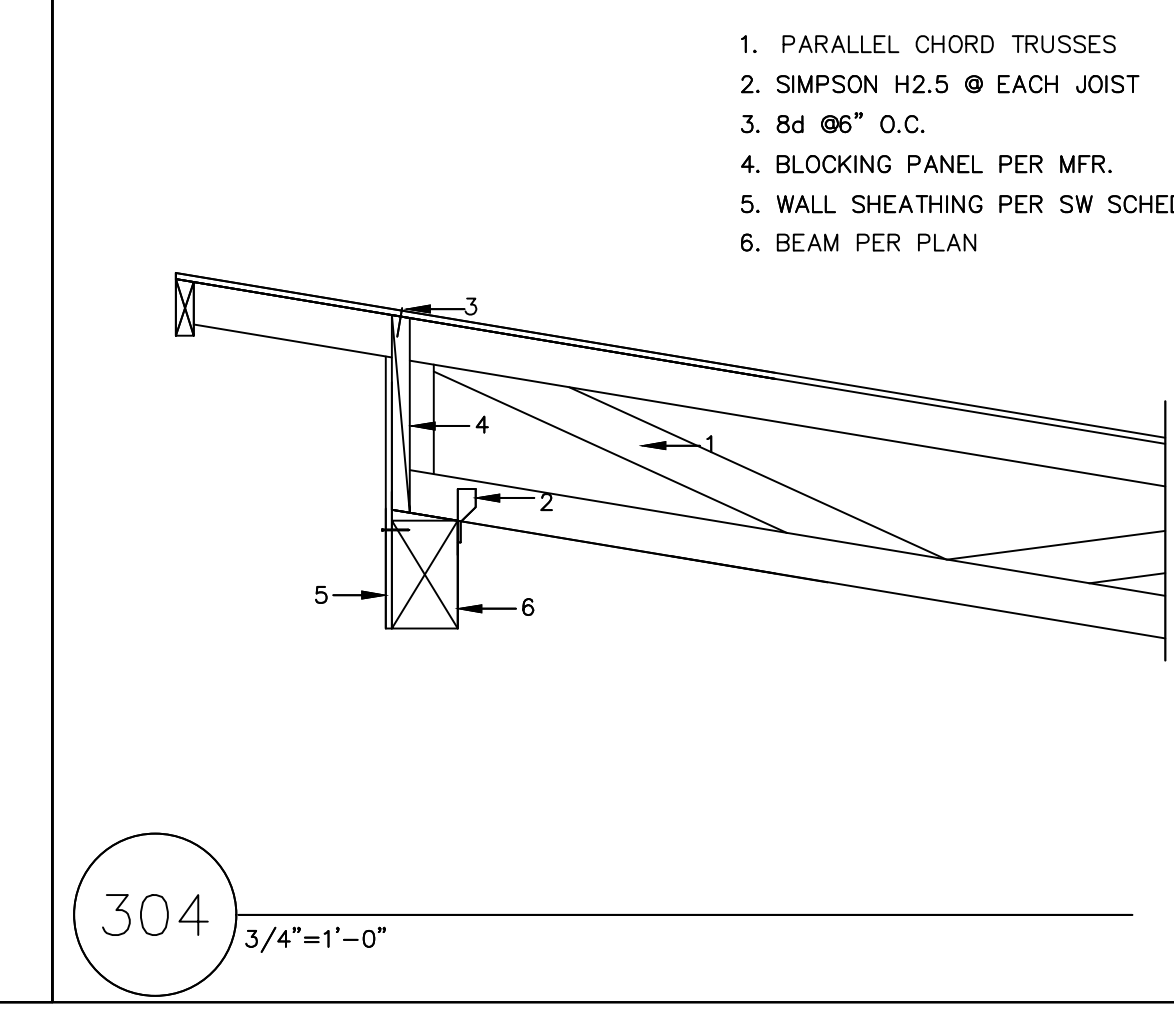
1. PARALLEL CHORD TRUSSES
2. SIMPSON H2.5 @ EACH JOIST
3. 8d @ 6" O.C.
4. BLOCKING PANEL PER MFR.
5. WALL SHEATHING PER SW SCHED.
6. 2x6 @ 16" O.C.

302 3/4"=1'-0"



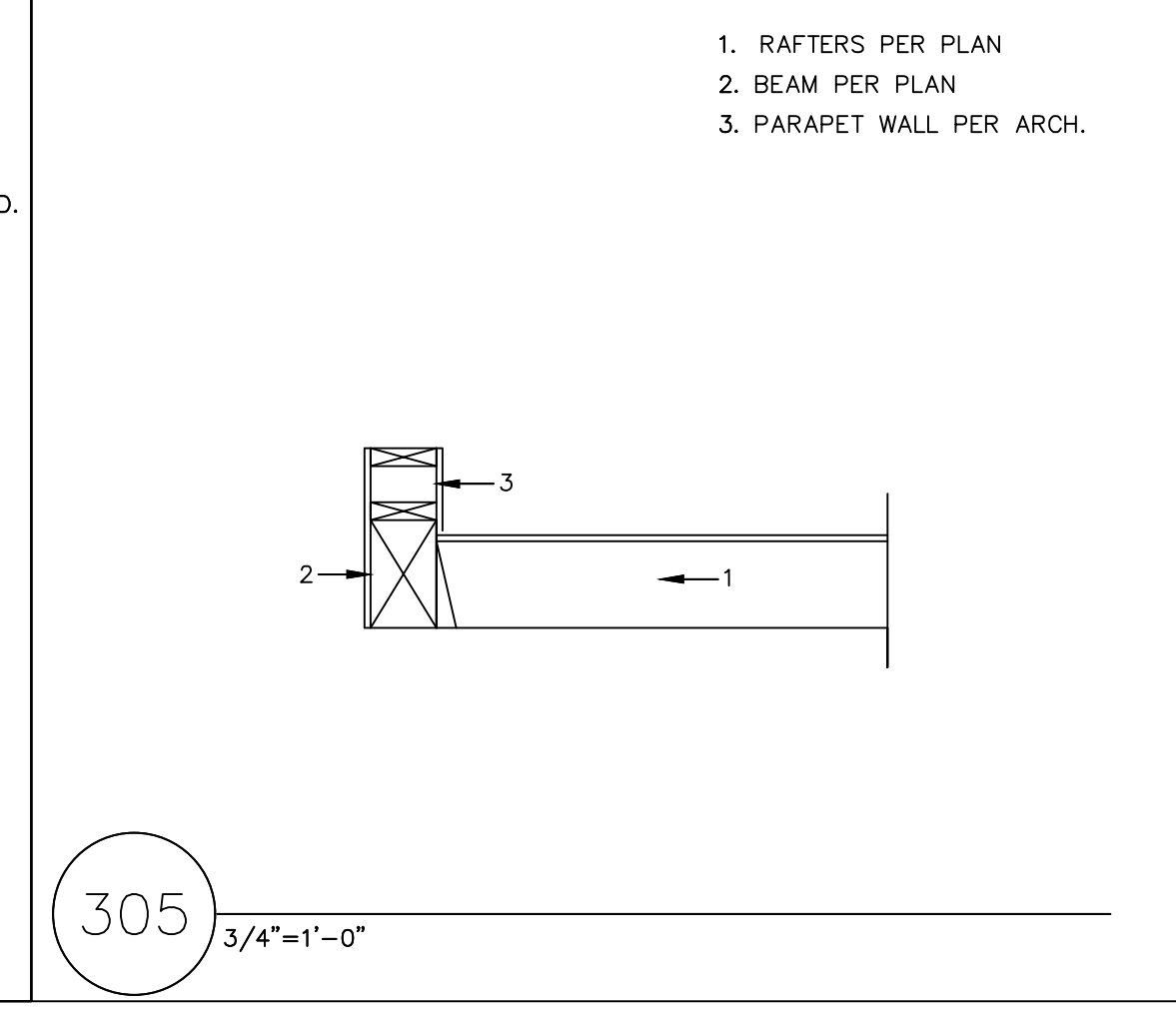
1. SHEATHING AND NAILING PER SHEARWALL SCHEDULE AND SHEAR WALL PLAN
2. SIMPSON A35 FRAMING ANCHORS PER SHEARWALL SCHEDULE
3. 8d NAILS @ 6" O.C.
4. BLOCKING PANEL PER MANUF.
5. SIMPSON H2.5 @ EACH JOIST
6. PARALLEL CHORD TRUSSES

303 3/4"=1'-0"



1. PARALLEL CHORD TRUSSES
2. SIMPSON H2.5 @ EACH JOIST
3. 8d @ 6" O.C.
4. BLOCKING PANEL PER MFR.
5. WALL SHEATHING PER SW SCHED.
6. BEAM PER PLAN

304 3/4"=1'-0"



1. RAFTERS PER PLAN
2. BEAM PER PLAN
3. PARAPET WALL PER ARCH.

305 3/4"=1'-0"

General Notes

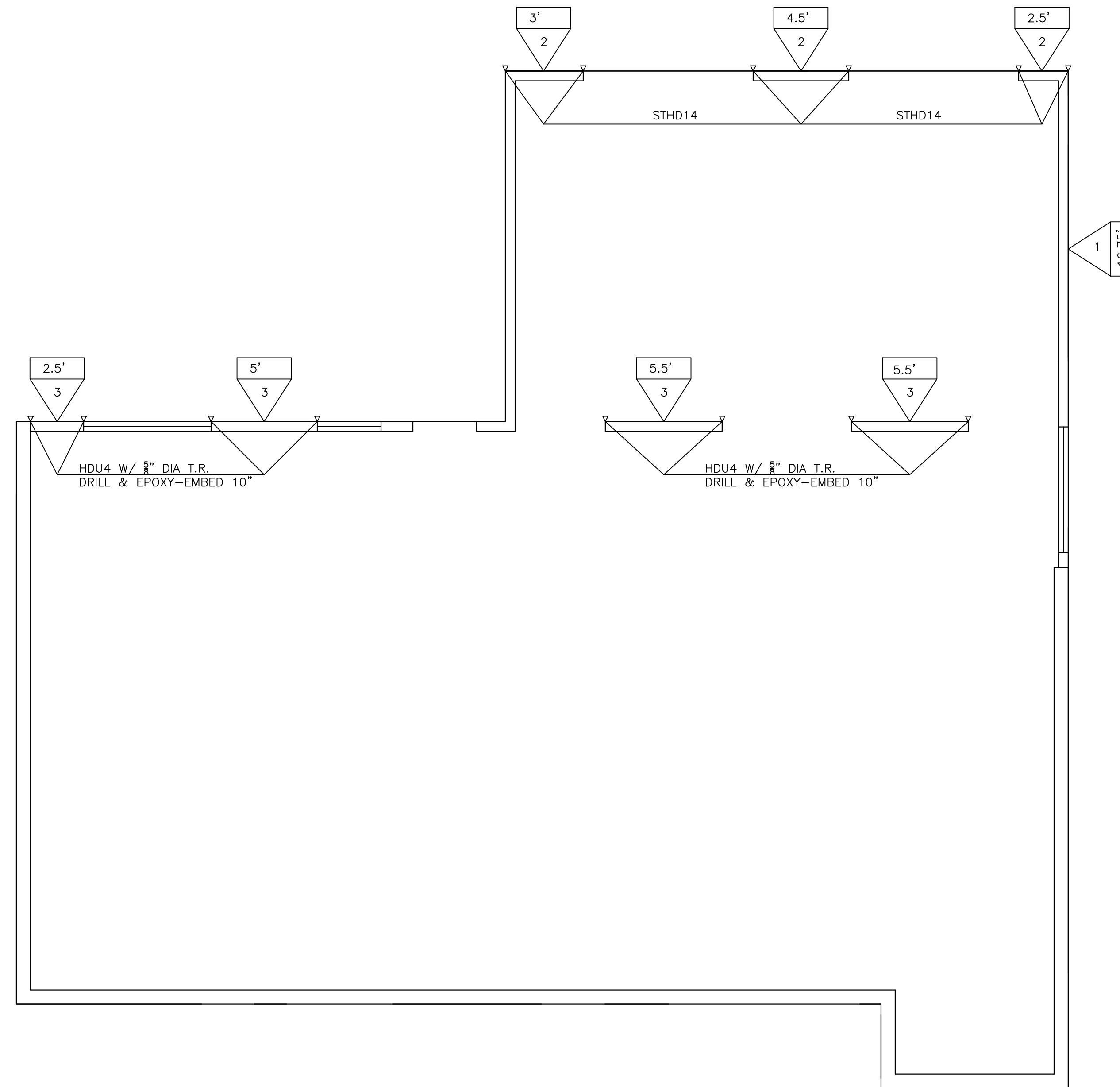


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Date	4/1/24		
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LOWER FLOOR SHEAR WALLS
 $\frac{1}{4}'' = 1'$

General Notes

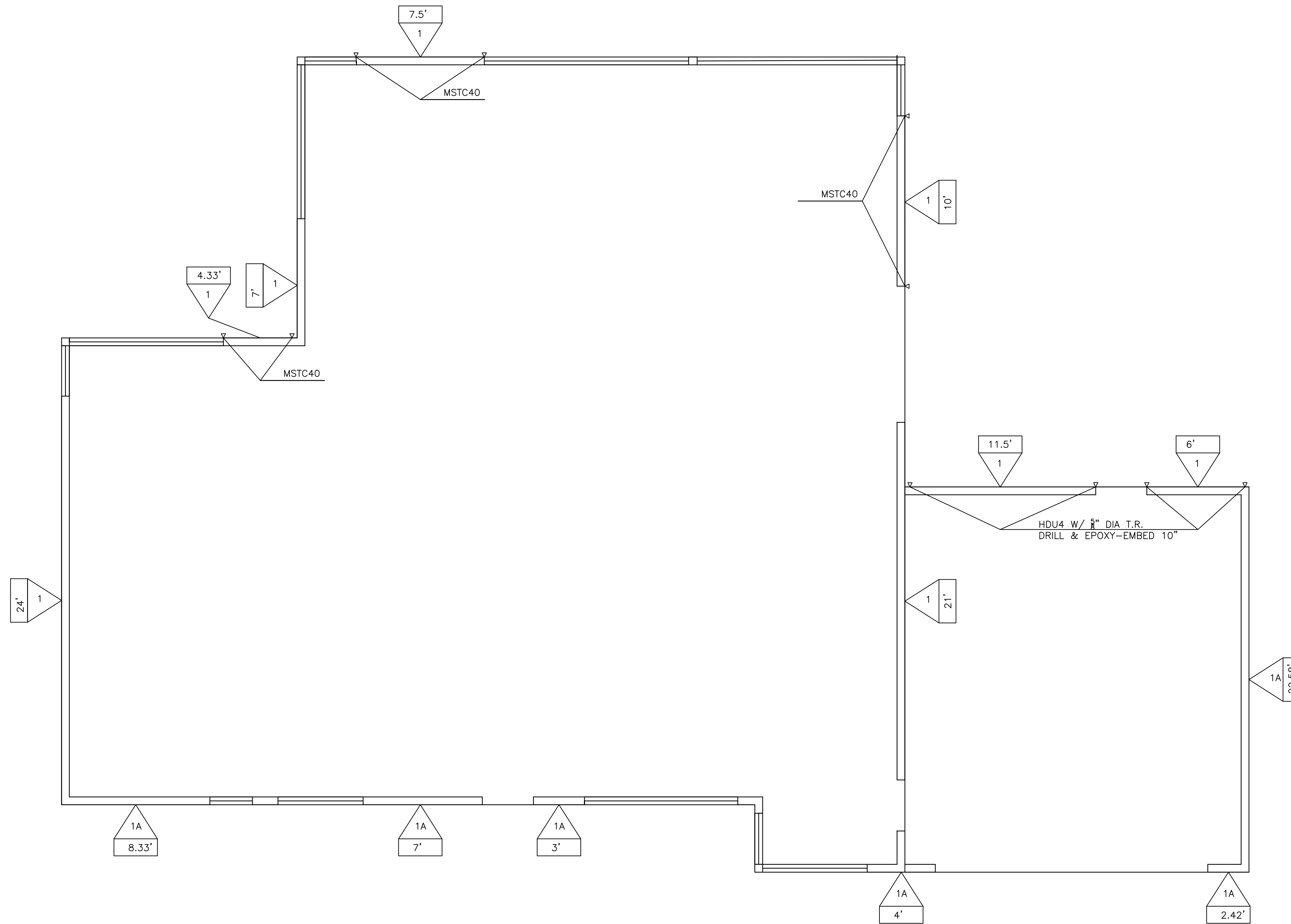


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MAIN FLOOR SHEAR WALLS
 $\frac{1}{4}'' = 1'$

General Notes



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Project MAWER-Baidwan	Sheet SD4
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